



Notice that the regular meeting of the Council of the Village of Bingham Farms will be held in Council Chambers at 24255 Thirteen Mile Road, Suite 190, Bingham Farms, Michigan, 48025, on Monday, April 22, 2024, at 7 p.m.

AGENDA

- I. Call to Order – roll call**
- II. Approval of Agenda – M**
- III. Approval of regular council meeting minutes: March 25, 2024 – M**
- IV. President’s message: Mental Health Awareness Month Proclamation**
- V. Public comments not on published agenda**
- VI. Discussion Topics**
 - a. Fire Department monthly report
 - b. Manager's report
 - c. Administrative assistant/econ dev coordinator report
- VII. Police Department Items**
 - a. Monthly report
 - b. Special Assessment District budget presentation
 - c. Set Public Hearing for 2024-2025 Special Assessment District – R
- VIII. Roads Project Advisory Committee - update**
- IX. New Business**
 - a. Library contract
 - b. Personnel committee
- X. Old Business**
 - a. Amendment to Tree and Woodlands Protection Ordinance (Ch. 93) – first reading
 - b. Repeal of Ch. 153 Design Review Board – second reading - M
 - c. Amendments to Ch. 98 Signs – second reading - M
 - d. Amendments to Ch. 157 Zoning Ordinance – fourth reading - M
- XI. 2024-2025 Budget**
 - a. Budget Summary Update
 - b. Set public hearing date for 2024-2025 budget - R
- XII. Treasurer's Report**
 - a. Approve April 2024 Bills – M
 - b. Accept Financial Statements for March 2024 - M
- XIII. Trustee Comments**
- XIV. Adjourn – M**

M-Motion R-Resolution

IN ACCORDANCE WITH PUBLIC ACT 267 (OPEN MEETING ACT)

The Village of Bingham Farms will provide necessary, reasonable auxiliary aids and services to individuals with disabilities requiring such services. All requests must be made to the Village Manager at least five business days before meeting. Individuals with disabilities requiring auxiliary aids or services should contact the office in writing or by phone: 24255 Thirteen Mile, Suite 190, Bingham Farms MI 48025 * 248-644-0044.



The regular **meeting minutes** of the Council of the Village of Bingham Farms, held at 24255 13 Mile Road, Suite 190, Bingham Farms, Mi., Monday, March 25, 2024 at 7pm.

- I. **Call to Order:** 7 pm
Trustees present: Lisa Blackburn, Kurt Jones, Kathy Mechigian, D.E. Hagaman, Diane Howard, Debbie Hedge
Trustees absent: Aaron Krabill

Others present: Manager Ken Marten, Treasurer William Pattyn, Administrative Assistant Yevgeniy Malkin, Joe Hlavaty, Lois Hlavaty, Police Chief Dan Roberts, Jeff DuComb, Fire Chief Tony Averbuch
- II. **Approval of Agenda: Motion** by Hagaman to approve the agenda, second by Mechigian. Approved 6-0.
- III. **Approval of Meeting Minutes: February 26, 2023: Motion** by Howard to approve the minutes as provided in the council packet, second by Hagaman. Approved 6-0.
- IV. **Public comments not on published agenda:** None.
- V. **Discussion Topics**
 - A. **Police Department Monthly report:** Roberts presented with additional commentary.
 - B. **Manager's Report:** Marten reminded residents that yard waste pickup does not begin until April 11; announced (voluntary) water service line verification program.
 - C. **Economic Development Coordinator/Administrative Assistant report:** Malkin announced Annual Invasive Species Seminar hosted by Oakland County CISMA on March 30 – more information in report and on website
 - D. **Fire Department Monthly Report.** Averbuch presented with additional commentary.
 - i. **Budget Request:** Averbuch presented the updated Fire Department budget request and explained the causes of the rise in costs.
 - ii. **Hazard Mitigation Plan:**

VILLAGE OF BINGHAM FARMS

Resolution No. 2024-01

RESOLUTION AUTHORIZING THE ADOPTION OF THE OAKLAND COUNTY MULTI-JURISDICTIONAL HAZARD MITIGATION PLAN

WHEREAS, the mission of Oakland County and the participating jurisdiction of the Village of Bingham Farms include the charge to protect the health, safety, and the general welfare of the people of the County and municipalities; and

WHEREAS, Oakland County, Michigan, is subject to flooding, tornadoes, winter storms, and other natural, technological, and human-caused hazards; and

WHEREAS, pro-active mitigation of known hazards before and after a disaster event can reduce or eliminate long-term risk to life and property; and

WHEREAS, The Disaster Mitigation Act of 2000 (Public Law 106-390) established new requirements for pre- and post-disaster hazard mitigation programs; and

WHEREAS to remain eligible to receive mitigation monies, Oakland County prepared a Hazard Mitigation Plan (the “PLAN”) for the County and all communities in the County; and

WHEREAS, Oakland County and the Village of Bingham Farms have participated in and completed a planning process that engages the public, assesses the risk and vulnerability to the impacts of hazards, develops a mitigation strategy consistent with a set of uniform goals, and creates a plan for implementing, evaluating and revising this strategy;

NOW THEREFORE BE IT RESOLVED that the Village of Bingham Farms:

- 1.) Adopts in its entirety the 2023 Oakland County Multi-Jurisdictional Hazard Mitigation Plan (Plan)
- 2.) Will use the adopted and approved portions of the Plan to guide pre- and post-disaster mitigation of the hazards identified.
- 3.) Will coordinate the strategies identified in the Plan with other planning programs and mechanisms under its jurisdictional authority.
- 4.) Will continue its support of the Hazard Mitigation Steering Committee and continue to participate in the planning partnership as described by the Plan.
- 5.) Will help to promote and support the mitigation successes of all planning partners.

Resolution offered by **Trustee Jones**, Seconded by **Trustee Hagaman**.
PASSED AND ADOPTED on March 25, 2024 by the following vote:

YES: Blackburn, Jones, Mechigian, Hagaman, Howard, Hedge.

NO: None.

ABSENT: Krabill.

VI. Old Business

- A. **Road Project Advisory Committee update:** Hagaman and Jones updated Council on the committee progress.

VII. Treasurer’s Report:

- A. **Approve March 2024 Bills: Motion** by Howard, second by Hagaman, to approve payment of the March 2024 bills in the following amounts: General Fund, \$160,089.82; and Gas & Weight, \$2,210.00. Approved 6-0.

B. **Accept Financial Statements for February 2024: Motion** by Jones, second by Mechigian, to approve financial statements as presented. Approved 6-0.

VIII. **Trustee Comments:** Hedge and Howard expressed gratitude to police and fire services for their work with residents as well as FD's work with villages on budget planning. Mechigian spoke re the dissolution of DRB and her opinion on the subject; Jones responded.

IX. **Adjournment: Motion** to adjourn by Hagaman, second by Mechigian. Adjourned at 9:00pm.

Prepared by Yevgeniy Malkin, Administrative Assistant.

DRAFT

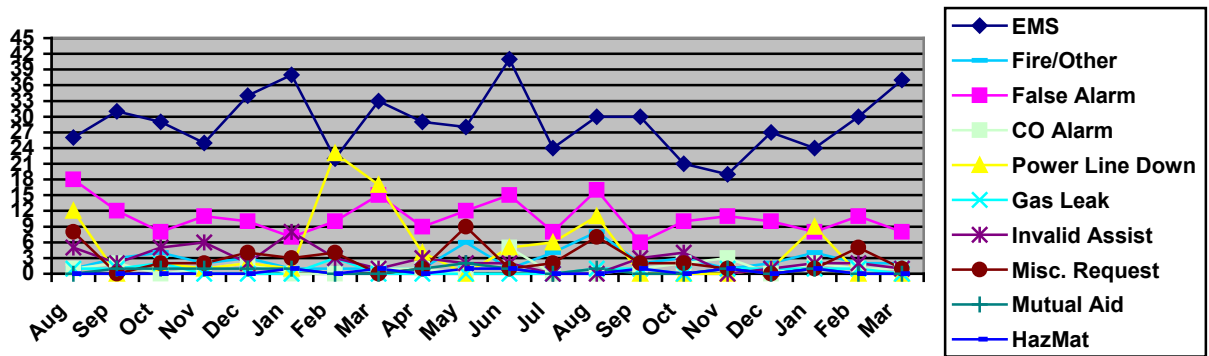
Mental Health Awareness Month – May 2024

- WHEREAS, mental health includes our emotional, psychological, and social well-being; it affects how we think, feel, and act; it also affects how we handle stress, relate to others, and make choices; and
- WHEREAS, mental health is important for our individual well-being and vitality, as well as that of our families, communities, and businesses; and
- WHEREAS, Mental Health America’s (MHA) 2023 “State of Mental Health in America” Survey, ranks Michigan as 25th in the Nation for prevalence of mental illness, and 20th in the nation for access to care; and
- WHEREAS, May 1 through May 31, 2024 is recognized as Mental Health Awareness month. MHA’s 2024 theme is “Where to Start: Mental Health in a Changing World”, which highlights getting back to the basics including self-care, coping skills, advocating for mental health, and knowing when to seek additional help; and
- WHEREAS, Oakland Community Health Network joins our national partners in promoting this year’s “Where to Start” campaign; and
- WHEREAS, mental health management ensures that individuals can focus on their abilities to live, work, learn and fully participate and contribute to our society, while promoting diversity, inclusion, and acceptance; and
- WHEREAS, improved systems of care for vulnerable populations, access to non-emergent and crisis-services, advanced integrated physical and behavioral health care along with provider relations help to fortify services coordinated by OCHN; and
- WHEREAS, Oakland Community Health Network (OCHN), and its service provider agencies, are committed to inspiring hope, empowering people, and strengthening communities.

NOW, THEREFORE, BE IT RESOLVED that, Oakland Community Health Network, hereby recognizes May 2024 as Mental Health Awareness Month. OCHN calls upon our citizens, government agencies, public and private institutions, businesses, faith-based organizations, and schools to recommit our state to increasing awareness and understanding of mental illness, and the need for appropriate and accessible services for all people with mental illnesses to promote recovery and a higher quality of life.

To: The Board of Fire Commissioners
 From: Chief of Department Tony Averbuch
 Subject: Report for the 15 April 2024 Meeting

Past 18 Months Response Trends:



March Response Information

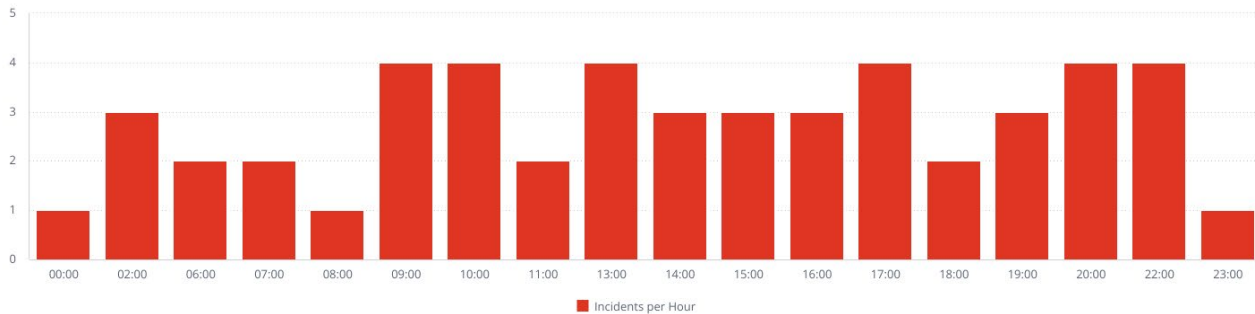
Incident Type Code	Incident Type	# of Incidents
251	Excessive heat, scorch burns with no ignition	2
321	EMS call, excluding vehicle accident with injury	36
322	Motor vehicle accident with injuries	1
357	Extrication of victim(s) from machinery	1
424	Carbon monoxide incident	1
554	Assist invalid	1
611	Dispatched & canceled en route	1
621	Wrong location	3
651	Smoke scare, odor of smoke	1
733	Smoke detector activation due to malfunction	1
735	Alarm system sounded due to malfunction	1
746	Carbon monoxide detector activation, no CO	1

Incidents by Hour for the Month:

Incidents per Hour
 Source: Fire Incidents

Filters: Days in Alarm DateTime: 3/1/24 to 3/31/24
 Is Locked: true

of Incidents per Hour



Fire Safety Inspections Completed in the prior month:

No Inspections Conducted

VI(a)

Average Response Time for the Month

Total Dispatch to Arrival Response Time

Average Response Time

6m:25s

Response Time per District (Dispatch to Arrival)

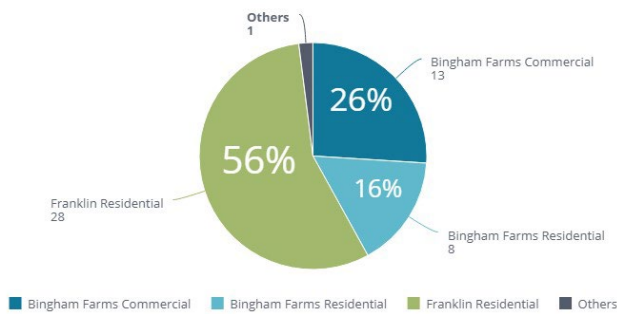
District	Average Response Time
Bingham Farms Commercial	07m:00s
Bingham Farms Residential	05m:47s
Bingham Farms Roadway	03m:41s
Franklin Residential	06m:13s

Top Ten Responders (YTD):

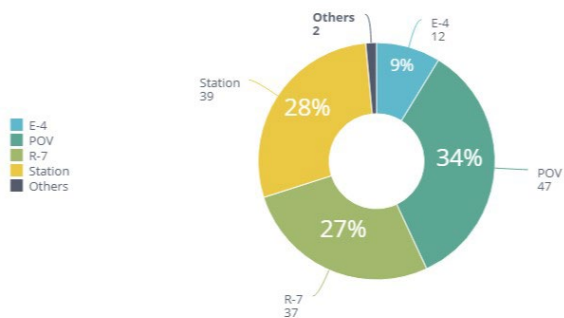
- | | |
|---------------------|----------------------|
| 1. FF Stefancin | 5-6. CAPT Kelly |
| 2. LT Croyle | 7. EMS LT Buck |
| 3. LT Johnson | 8. FF Rubin |
| 4. FF Longworth | 9. Paramedic Jacques |
| 5-6. CAPT Koslowski | 10. FF Kelly |

Zone Responses for the Previous Month

of Incidents per District



of Incidents per Unit



False Alarms That Have Occurred During the Month of March:

Incident Number	Date	Incident Type	Location Street Address	District	Billable
24109	3/4/2024	Smoke scare, odor of smoke	31920 Mountainview	Franklin Residential	No
24118	3/8/2024	Wrong location	26041 Carol Avenue	Franklin Residential	No
24119	3/8/2024	Wrong location	25165 River	Franklin Residential	No
24120	3/8/2024	Wrong location	25305 Canterbury	Franklin Residential	No
24130	3/14/2024	Smoke detector activation due to malfunction	26005 Carol Avenue	Franklin Residential	Yes
24139	3/21/2024	Alarm system sounded due to malfunction	30700 Ivy Glen Court	Bingham Farms Residential	Yes
24151	3/30/2024	Dispatched & canceled en route	23750 Overlook Circle	Bingham Farms Residential	No
24154	3/31/2024	Carbon monoxide detector activation, no CO	25461 Tweed Drive	Franklin Residential	No



Council Communication

To: President Blackburn and Village Council Trustees

From: Ken Marten, Village Manager

Date: April 19, 2024

Re: Village Manager's monthly report April 2024

Sidewalk replacement: The Beverly Hills Department of Public Works is in the midst of replacing a length of cracked and heaving sidewalk east of Bingham Elementary. Much of the damage is caused by the roots of a mature tree that is rather close to the walk, and DPW is “swinging” the sidewalk around the trunk and roots to preserve the tree. The estimate for the work is \$3,000.

Marten vacation: I’ll be out of the office Tue, April 23 through Thu, May 2. Yevgeniy and Bill are very capable individuals and will handle day-to-day operations while I’m away.

Planning Commission meeting: The commission held a public hearing on April 8 regarding the proposed amendments to the Zoning Ordinance concerning design guidelines for new home builds. The commission approved recommending approval of the amendments to council (5-1 with one absent member).

On April 12, new Planning Commission chair Mike DeRonne and I met to discuss general processes and procedures.

Roads Project Advisory Committee: The seven-member committee continues to meet every other Wednesday and is working on presenting three to five road replacement options to council in May. From my perspective, the committee is working hard, learning a lot, and will have solid options to present.

Invasive species presentation: Patrick Canniff, director of the Oakland County Cooperative Invasive Species Management Area (CISMA), will give a presentation on identification, removal and replacement of invasives such as buckthorn (and others) in the council chambers, 6:30 pm Monday, April 29. We’re going to ask folks to register by calling or emailing the office. Space will be limited to 25. I’ll be on vacation at that time, so Yevgeniy (who organized the workshop) will be in attendance. The event was eblasted on April 18.

Fire Chief Q and A: Chief Tony Averbuch and I have scheduled a “meet with the chief” session for 3-5 pm Tuesday, May 7, in the council chambers. Residents will be able to ask Tony about the department and its operations, budget, etc. Flyer is attached and has been uploaded to the website.

Water service line verification: This is ongoing. The village engineering consultants have created a nifty website to help its clients comply with new requirements to provide the state with an updated material inventory on water service lines (the pipe that carries drinking water from the water main to the home, also known as the “lateral line”).



Go to the village website and click on “water service line verification” under the “Village News” section on the home page. Click on the link and follow the super-simple, step-by-step instructions on how to determine water service line material (or click here: [Bingham Farms Resident Submission \(arcgis.com\)](http://BinghamFarmsResidentSubmission.arcgis.com)).

UPCOMING MEETINGS/IMPORTANT DATES

- Marten vacation: Tue, April 23 through Thu, May 2
- Roads Committee: 6:30 pm Wed, April 24
- Invasive Species workshop: 6:30 pm Mon, April 29
- “Meet with the chief” session, 3-5 pm Tue, May 7
- Roads Committee: 6:30 pm Wed, May 8
- Planning Commission: 7:30 pm Mon, May 13 (likely to be canceled)
- Village Council: 7 pm Mon, May 20
- Roads Committee: 6:30 pm Wed, May 22
- Memorial Day: Mon, May 27



MEET THE CHIEF

What: Join us for a Q & A session with Fire Chief Tony Averbuch to learn more about the Franklin-Bingham Farms Fire Department and its operations.

When: 3-5 pm, Tuesday, May 7

Where: Bingham Farms Council Chambers
24255 Thirteen Mile Rd, Suite 190
Bingham Farms, MI 48025

If you are interested in attending, please contact the village office to reserve your place

Phone: (248) 644-0044

Email: admin@binghamfarms.org



Council Communication

To: President Blackburn and Village Council Trustees

From: Yevgeniy Malkin, Economic Development Coordinator/Administrative Assistant

Date: March 25, 2024

Re: Village Economic Development Monthly Report

CISMA local events update: The local Bingham Farms Invasive Species event has been scheduled for Monday, April 29 at 6:30pm. The flyer for the event has been posted online and e-blasted to the residents. Several individuals already contacted the office to sign up.

Emerging Leaders Spring Training conference: I attended this MEDA event in Lansing on April 18. The conference featured several discussion panels that focused on strategies that municipalities can use to facilitate development in their communities; how to communicate potential and ongoing projects to the residents more effectively; and tips on grant applications.

PREVIOUSLY MENTIONED ITEMS:

Business License Program update: We are up to 274 business license renewals and 8 new business registrations for this year. By comparison, we had a total of 220 licenses issued at this time last year.

Additionally, since I started the business database in 2020, there have been 134 businesses that closed or moved from the village.

Roads Project Committee Items: Since the Committee’s creation, I have completed the following tasks:


- Created postcards and did a village-wide mailing to announce the meeting dates and availability of Zoom attendance
- Setup equipment and created a permanent Zoom link to broadcast and record the meetings
- Created a dedicated page for the Roads Committee info on the village website under the “Government” tab at the top of the Home page. The page includes meeting dates, Zoom meeting link, and links to recorded videos published to the village YouTube channel.
- Edited and posted the Zoom recordings to YouTube – links can be found on the Roads Committee page on the village website

UPCOMING PLANS or ITEMS IN-PROGRESS

- Continued outreach to building owners/managers – I am working through our list of contacts and scheduling meetings with all the commercial property owners and managers.

BINGHAM FARMS INVASIVE SPECIES SEMINAR

6:30 pm April 29th, 2024

 Bingham Farms Council Chambers
24255 Thirteen Mile Rd Suite 190

The Village of Bingham Farms and Oakland County Cisma (Co-Operative Invasive Species Management Area) are hosting a free seminar for village residents. Get expert advice about control, containment, and removal of common garden and woody invasive species.

The seminar will be led by Patrick Canniff, a Cisma Coordinator, and will feature an hour-long presentation, followed by a Q & A session.

Space is limited. If you plan to attend this event, please contact the village office to reserve your spot:

Phone: (248) 644-0044

Email: admin@binghamfarms.org



VILLAGE OF FRANKLIN
OAKLAND COUNTY
MICHIGAN
FRANKLIN - BINGHAM FARMS POLICE DEPARTMENT

32311 FRANKLIN RD
 FRANKLIN, MICHIGAN

DANIEL D. ROBERTS
 Chief of Police



Telephone
 (248) 626-9672

Fax
 (248) 538-5450

MONTHLY REPORT
MARCH 2024

CALLS FOR SERVICE

	<u>NUMBER</u>	<u>PERCENT</u>	<u>YEAR - TO - DATE</u>	<u>YEAR-TO DATE LAST YEAR</u>
BINGHAM FARMS w/S.A.D.	105	25%	337	318
FRANKLIN	134	33%	387	435
OTHER	7	2%	27	35
TRAFFIC STOPS (Includes Verbal Warnings & Citations)	166	40%	551	442
TOTAL:	412	100%	1302	1230
TRAFFIC STOPS BINGHAM FARMS	74		270	189
TRAFFIC STOPS FRANKLIN	92		281	253
	166		551	442
S.A.D. Only: S.A.D.=Special Assessment District	36		136	124

WRITTEN COMPLAINTS

	<u>NUMBER</u>	<u>PERCENT</u>	<u>YEAR - TO - DATE</u>	<u>YEAR-TO DATE LAST YEAR</u>
BINGHAM FARMS	23	47%	62	69
FRANKLIN	22	45%	56	46
S.A.D./OTHER (S.A.D.=3, OTHER=1)	4	8%	23	21
TOTAL:	49	100%	141	136

BREAKING AND ENTERING/HOME INVASION

RESIDENTIAL	<u>THIS MONTH</u>	<u>YEAR - TO - DATE</u>
	1	2
	<u>THIS MONTH</u>	<u>YEAR - TO - DATE</u>
	<u>LAST YEAR</u>	<u>LAST YEAR</u>
	0	1
	<u>DATE</u>	<u>INCIDENT</u>
BINGHAM FARMS	3/29/2024	24-1275
		30305 Oakview Way
FRANKLIN	n/a	n/a
		n/a

COMMERCIAL

<u>THIS MONTH</u>	<u>YEAR - TO - DATE</u>
0	0
<u>THIS MONTH</u>	<u>YEAR - TO - DATE</u>
<u>LAST YEAR</u>	<u>LAST YEAR</u>
0	0

VII(a)

	<u>DATE</u>	<u>INCIDENT</u>	<u>ADDRESS</u>
BINGHAM FARMS	n/a	n/a	n/a
FRANKLIN	n/a	n/a	n/a
S.A.D.	n/a	n/a	n/a

ARRESTS

	<u>NUMBER</u>	<u>YEAR - TO - DATE</u>	<u>YEAR - TO - DATE 2023</u>
FELONIES	0	0	2
MISDEMEANORS	15	39	28

MISDEMEANOR INCIDENTS

	<u>DATE</u>	<u>INCIDENT</u>	<u>COMMENTS</u>
(A)=Arrest	3/1/2024	24-0929(B)	Vehicle Registration Improper/Expired (A)
(B)=Bingham Farms	3/4/2024	24-0938(B)	Vehicle Registration Improper/Expired (A)
(F)=Franklin	3/6/2024	24-0979(B)	DWLS OPS License Suspended/Revoked (A)
(S)=S.A.D.	3/7/2024	24-0999(B)	DWLS OPS License Suspended/Revoked (A)
(O)=Other	3/8/2024	24-1002(B)	DWLS OPS License Suspended/Revoked (A)
	3/9/2024	24-1032(B)	DWLS OPS License Suspended/Revoked (A)
	3/9/2024	24-1033(B)	Operating Under the Influence of Alcohol/Liquor (A)
	3/11/2024	24-1050(B)	Drove W/Expired Ops (A)
	3/14/2024	24-1089(S)	Telephone Used for Harassment, Threats
	3/16/2024	24-1121(B)	DWLS OPS License Suspended/Revoked (A)
	3/17/2024	24-1134(F)	Operating Under the Influence of Alcohol/Liquor (A)
	3/21/2024	24-1182(B)	Misdemeanor Arrest Warrant-(Originating Agency) (A)
	3/23/2024	24-1207(F)	Operating Under the Influence of Alcohol/Liquor (A)
	3/23/2024	24-1208(F)	Drove W/Expired Ops (A)
	3/29/2024	24-1271(B)	DWLS OPS License Suspended/Revoked (A)
	3/30/2024	24-1285(B)	DWLS OPS License Suspended/Revoked (A)

FELONY INCIDENTS

	<u>DATE</u>	<u>INCIDENT</u>	<u>COMMENTS</u>
(A)=Arrest	3/18/2024	24-1151(S)	Assault - Strong Arm Robbery
(B)=Bingham Farms	3/20/2024	24-1176(S)	Larceny - From Building
(F)=Franklin	3/22/2024	24-1196(F)	Fraud (Other)
(S)=S.A.D.	3/30/2024	24-1275(B)	B&E - Burglary - Forced Entry - Residence
(O)=Other			

TRAFFIC CITATIONS:

	<u>NUMBER</u>	<u>PERCENT</u>	<u>YEAR - TO - DATE</u>	<u>LAST YEAR-TO-DATE</u>
BINGHAM FARMS/S.A.D.	84	67%	289	283
FRANKLIN	42	33%	135	136
OTHER	0	0%	0	0
TOTAL:	126	100%	424	419

OTHER MATTERS

<u>DATE</u>	<u>INCIDENT</u>	<u>COMMENTS</u>
n/a	n/a	n/a

 4/2/24

Daniel D. Roberts, Chief of Police



FRANKLIN - BINGHAM FARMS POLICE DEPARTMENT

OAKLAND COUNTY

MICHIGAN

www.franklinpolice@franklin.mi.us

32311 FRANKLIN RD
FRANKLIN, MICHIGAN

TELEPHONE
(248) 626-9672

DANIEL D. ROBERTS
Chief of Police

FAX
(248) 538-5450

MONTHLY REPORT SPECIAL ASSESSMENT DISTRICT March 2024

SHIFT ASSIGNMENTS

Primary Officers: 6:00 a.m. - 6:00 p.m. Officer Gorski #959
6:00 a.m. - 6:00 p.m. Officer O'Shea #961

Additional Coverage - All Hours: Sgt. Mydloski, Sgt. Wells, and Officers Bonacorsi, Berry, Hall, Tucker, Wiese, and Jacobs include S.A.D. coverage in their patrol.

<u>CALLS FOR SERVICE</u>	<u>COUNT</u>	<u>24 YTD</u>	<u>23 YTD</u>
Total Number of Complaints	36	136	124
Total Handled by S.A.D. Officers	9	37	31
Total Handled by Road Officers	27	99	93

TRAFFIC CITATIONS	COUNT	24 YTD	23 YTD
Total Number Violations in Bingham Farms	84	289	283
Total Handled by S.A.D. Officers	26	63	149
Total Handled by Road Officers	58	226	134

**FRANKLIN-BINGHAM FARMS POLICE DEPARTMENT
S.A.D. ACTIVITY REPORT
March 2024**

REPORTS TAKEN WITHIN THE SAD	NUMBERS	24YTD	23YTD
Incident Reports (Misdemeanor & Felony)	3	8	7
Arrests ¹	7	15	12
Crime Prevention Meetings	1	3	3
Total Vehicle Miles	1343	4333	5530
Overtime Hours	0	0	0
Open Buildings	2	13	11
Private Property Accident Reports Taken Within the S.A.D.	0	4	4
Public Property Accident Reports In Front of the S.A.D. (Telegraph Rd.)	4	18	11

¹ Does not include arrests on Telegraph Rd by non S.A.D. officers, but does include arrests made by S.A.D. officers outside of the S.A.D.

**FRANKLIN-BINGHAM FARMS POLICE DEPARTMENT
INCIDENTS REPORTED IN THE COMMERCIAL DISTRICT
March 2024**

	NUMBER	24YTD	23YTD
Homicide	0	0	0
Attempt Armed Robbery	0	0	0
Armed Robbery	0	0	0
Larceny from Auto, Incl. Attempt	0	0	1
U.D.A.A. (stolen vehicle)	0	0	1
Attempt U.D.A.A.	0	0	0
Larceny in Building, Incl. Attempt	1	1	0
Larceny, All Other	0	0	0
Malicious Destruction of Property	0	0	0
Breaking and Entering	0	0	0
Attempt Breaking and Entering	0	0	0
Assault (Incl. Stalking), Harassment	2	3	1
Forgery-Fraud/Embezzlement/N.S.F. Checks	0	2	3
Extortion	0	2	0
	3	8	6

**FRANKLIN-BINGHAM FARMS POLICE DEPARTMENT
SPECIAL ASSESSMENT DISTRICT: ARRESTS
March 2024**

ARRESTS	CURRENT	24YTD	23YTD
FELONY	0	0	1
MISDEMEANOR	7	15	11
*TOTAL	7	15	12

*These totals are arrests made by the S.A.D. Officers in the district as well as in other parts of the villages.

**FRANKLIN-BINGHAM FARMS POLICE DEPARTMENT
SPECIAL ASSESSMENT DISTRICT: ARRESTS
March 2024**

INCIDENT#	LOCATION	SEX/AGE/RESIDENCE	OFFENSE
24-0938	Telegraph Rd./14 Mile Rd.	F/32/Detroit	VEHICLE REGISTRATION-Imp/Exp

While on patrol, Officer O'Shea observed a vehicle with an improper license plate. He conducted a traffic stop and made contact with the driver. Officer Wiese assisted on the stop. The driver did not have insurance or registration and said that the title was in the mail. Upon further investigation, Officer O'Shea found that the driver had numerous warrants. The warrants were confirmed through dispatch, and all agencies stated to advise and release on their warrants. The vehicle was impounded, and the driver was issued a citation for improper plate.

24-1002	Thirteen Mile Rd./Cardinal Ln.	M/26/Detroit	DWLS OPS
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Officer O'Shea was running lidar when he observed a vehicle speeding through a school zone on Thirteen Mile Rd. Officer O'Shea conducted a traffic stop and Officer Wiese assisted on the stop. Officer O'Shea made contact with the driver who provided a Michigan Identification card. Officer O'Shea ran the subject through the LEIN system which showed his drivers license was suspended. He issued the driver a citation for driving while license suspended and speeding. The vehicle was turned over to a valid driver and the vehicle and driver were released at the scene.

24-1121	Telegraph Rd./14 Mile Rd.	F/30 Detroit	DWLS OPS
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Officer Gorski was on patrol when he observed what appeared to be an expired plate on a vehicle. He ran the plate through the LEIN system and confirmed it was expired. He conducted a traffic stop and made contact with the driver who provided her driver's license and stated that she knew the plate was expired. Upon further investigation, Officer Gorski determined the driver's license was suspended. She was issued a citation for expired plate and driving while suspended. The vehicle was turned over to a valid driver and the vehicle and driver were released at the scene.

24-1182

Telegraph Rd./13 Mile Rd.

M/49/Bloomfield Hills

MISD WARRANT

Officer Gorski was on patrol when he observed a vehicle with what appeared to be an expired plate. He ran the plate through the LEIN system and found it had expired in 2021. He conducted a traffic stop on the vehicle and made contact with the driver. The driver provided his driver's license and insurance but stated that he was unaware that the plate was expired. Officer Gorski ran the subject through the LEIN system and found he had three traffic warrants. Officer Berry arrived on scene to assist. The subject posted bond on a warrant out of Franklin-Bingham Farms Police Department. The other two agencies requested to advise and release on their warrants. The subject was given a court date for the warrant out of Franklin-Bingham Farms and was issued a citation for the expired plate. He was released from the scene.

24-1207

Nottingham/Canterbury

M/27/Farmington Hills

OWI

While at the station, Officer O'Shea answered a call from a resident advising that there was a vehicle in his yard with its headlights on, and that it had been there for several hours. Officer O'Shea and Officer Wiese responded to the call. Upon arrival they found a vehicle off the roadway stuck on the resident's lawn which was full of snow. Officer O'Shea made contact with the driver who advised he had been stuck since the night before. Officer O'Shea noticed that he was mumbling and slurring his words. Field sobriety tests were performed on the driver and a Preliminary Breath Test (PBT) was given. The driver was arrested for operating while intoxicated (OWI) and transported to Bloomfield Township Police Department for booking. The vehicle was impounded. The driver was cited for OWI and lodged pending detox.

24-1271

Telegraph Rd./14 Mile Rd.

F/30/Eastpointe

DWLS OPS

Officer Gorski was on patrol when he observed a vehicle with no license plate. He conducted a traffic stop and made contact with the driver. The driver provided a Michigan ID card and stated she did not have a plate for the vehicle but had insurance. The driver admitted her license was suspended which Officer Gorski confirmed by running her through the LEIN system. He also found the vehicle was registered to the driver but had no assigned plate. Officer Gorski issued a citation for no plate and driving while license suspended. The vehicle was parked for a family member to pick up and the driver was released to a friend.

24-1285

Telegraph Rd./13 Mile Rd.

M/36/Southfield

DWLS OPS

Officer Gorski was on patrol when he observed a vehicle with what appeared to be an expired plate. He ran the plate through the LEIN system and confirmed it had been expired since 2022. He conducted a traffic stop and made contact with the driver. The driver provided a Michigan ID card and stated that he knew the plate was expired. He said he also thought his license was suspended or expired. Officer Gorski ran the subject through the LEIN system and found his license was suspended. He issued the driver a citation for expired plate and driving while license suspended. The vehicle was parked for a family member to pick up and the driver left the scene via Uber.

FRANKLIN-BINGHAM FARMS POLICE DEPARTMENT
SPECIAL ASSESSMENT DISTRICT: Incidents
March 2024

<u>INCIDENT#</u>	<u>LOCATION</u>	<u>BUSINESS</u>	<u>OFFENSE</u>
------------------	-----------------	-----------------	----------------

24-1089	31600 Telegraph Rd, #120	Healing Home Counseling	TELEPHONE HARASSMENT
----------------	---------------------------------	--------------------------------	-----------------------------

Officer O'Shea was dispatched to a report of multiple harassing phone calls. Upon arrival he spoke with the receptionist and owner of the company who stated that the business had received multiple phone calls from an unknown caller earlier in the week during the early hours of the morning. The receptionist had answered the phone and spoken with the caller who requested "sex therapy." The receptionist referred the subject to another agency, however the caller called back several times making inappropriate comments. The agency blocked the suspect's phone number. The case was turned over to Deputy Chief Lawson who made contact with the suspect who seemed to be mentally impaired. The agency was advised to contact the department if the subject contacted them again. The case is closed, no further action required at this time.

24-1151	30200 Telegraph Rd	Bingham Three	DOMESTIC/UNARMED ROBBERY
----------------	---------------------------	----------------------	---------------------------------

Officer Wiese was dispatched to the Franklin Police Department to take a walk-in report of a domestic assault which occurred several months ago in the parking lot of 30200 Telegraph Road. Upon arrival at the station Officer Wiese spoke with the victim who stated her boyfriend had assaulted her and stolen the \$500 she had on her. She stated she was too afraid to make a report at the time and that since that time he had assaulted her on several occasions in other jurisdictions, threatening her if she called the police. The case was turned over to Deputy Chief Lawson who obtained a three-count warrant from the Oakland County Prosecutor's Office for Domestic Assault, Unarmed Robbery, and Illegal use of a Tracking Device. The subject turned himself in on the warrant, was booked by Officer Wiese, and released on personal bond with bond conditions.

24-1176	30752 Telegraph Rd	DiBella's Subs	LARCENY FROM BUILDING
----------------	---------------------------	-----------------------	------------------------------

Sgt. Mydloski was dispatched to DiBella's Subs on a report of a larceny. Upon arrival he spoke with the victim who was the General Manager. She stated that she couldn't find her glasses and when she checked the store's cameras, she saw one of her employees take the glasses from the shelf they were on and hid them on a higher shelf. When the victim spoke with the suspect employee on the phone about the incident, she hung up on her and didn't show up for work. The case was turned over to Deputy Chief Lawson. He contacted the suspect who then came to the police department and turned the glasses over to him. She was cited with a misdemeanor citation.

**FRANKLIN-BINGHAM FARMS POLICE DEPARTMENT
MONTHLY PERSONNEL REPORT
March 2024**

DAYS/HRS. S.A.D. OFFICERS WERE OUT OF THE S.A.D. *

Admin Days	0 hrs.
Sick Days	12 hrs.
Vacation Days	12 hrs.
Comp. Days	0 hrs
Personal Days	0 hrs.

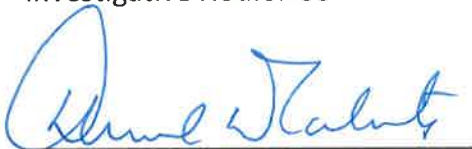
SHIFTS S.A.D. OFFICERS WERE REQUIRED TO BE OUT OF THE S.A.D.*

<u>DATE</u>	<u>REASON</u>	<u>OFFICER</u>
3/1/24	Sick	Gorski
3/25/24	Vacation	Gorski
3/29/24	Road Coverage	Gorski

*On the days above, a part-time officer was called-in to work the S.A.D. in the absence of either Ofc. Gorski or Ofc. O'Shea (if available).

ADDITIONAL TIME DEVOTED TO THE S.A.D.

Patrol Hours: 100.95
Investigative Hours: 55



Daniel D. Roberts
Chief of Police

4/18/24

Date

**Bingham Farms Monthly Violation Summary
March 2024**

VIOLATIONDESC	VIOL_COUNT	VIOL_PERCENTAGE
11-15 MPH OVER LIMIT	0	0
1-5 MPH OVER LIMIT	22	27.85
31 MPH OVER SPEED LIMIT	0	0
6-10 MPH OVER LIMIT	1	1.27
CARELESS DRIVING	1	1.27
DISOBEY TRAFFIC CONTROL DEVICE	1	1.27
DROVE UNREGISTERED VEHICLE	0	0
DROVE WHILE LICENSE EXPIRED	1	1.27
DROVE WHILE LICENSE SUS/REV/DENIED	7	8.86
DROVE WHILE UNLICENSED/LIC NOT VALID	0	0
EQUIPMENT VIOL-DEFECTIVE/MISSING	2	2.53
EXPIRED PLATES	7	8.86
FAIL TO STOP ASSURED CLEAR DISTANCE AHEAD	0	0
FAIL TO YIELD	0	0
FAIL TO YIELD RIGHT OF WAY	1	1.27
FAIL TO YIELD TO EMERGENCY VEHICLE	0	0
HANDICAPPED ONLY ZONE	8	10.13
HOLDING/USING MOBILE DEVICE WHILE OPERATING VEHICLE (\$215),	1	1.27
IMPROPER LANE USAGE	0	0
IMPROPER PLATES	2	2.53
NO PLATE	1	1.27
NO PROOF OF INSURANCE	16	20.25
NO PROOF OF REGISTRATION	4	5.06
NO VALID LICENSE IN POSSESSION	2	2.53
NO VALID PLATE	0	0
OPERATE WHILE INTOXICATED	0	0
OPERATING WHILE READING TYPING OR TEXTING 1ST OFFENSE	1	1.27
USE OF HAND HELD CELLULAR PHONE	0	0
VIOL OF CHILD RESTRAINT LAW	1	1.27
VIOLATION OF BASIC SPEED LAW	0	0
VOIDED TICKETS	5	6.1

TTL VIOLATIONS 84

VILLAGE OF BINGHAM FARMS

POLICE SPECIAL ASSESSMENT DISTRICT

**RESOLUTION TO ESTABLISH PUBLIC HEARING DATE ON NECESSITY OF
POLICE SPECIAL ASSESSMENT DISTRICT AND A PUBLIC HEARING TO REVIEW
THE SPECIAL ASSESSMENT ROLL FOR FY 2024-2025, AND TO PROVIDE NOTICE**

At a regular meeting of the Village Council of the Village of Bingham Farms, Oakland County, Michigan, held in the Council Chambers at 24255 West Thirteen Mile Road, Suite 190, Bingham Farms, Michigan 48025, at 7:00 p.m. on April 22, 2024, the following resolution was offered by Councilperson _____ and supported by Councilperson _____:

WHEREAS, the Notice of Special Assessment Hearings Act, MCL 211. 741 et seq., and Title III, Chapter 30, Section 30.21 of the Village Code of Ordinances, requires the Village to provide notice of all hearings for special assessment proceedings by 1) mailing a notice of public hearing to each owner and party in interest of the property to be assessed, whose name appears upon the last tax assessment records, by first class mail at the address shown on the tax records at least ten (10) days before the date of the hearing; and 2) publishing the notice of public hearing at least once in a newspaper of general circulation within the Village at least ten (10) days before the date of the hearing.

WHEREAS, the Notice of Special Assessment Hearings Act, MCL 211. 741 et seq., requires the notice of public hearing to include a statement that “appearance and protest at the hearing in the special assessment proceedings is required in order to appeal the amount of the special assessment to the State Tax Tribunal” and a statement that “an owner or party in interest, or his or her agent may appear in person at the hearing to protest the special assessment, or shall be permitted to file his or her appearance or protest by letter and his or her personal appearance shall not be required.”

THEREFORE, BE IT RESOLVED, that the Clerk shall prepare a notice conforming to the requirements of the Village Charter and the Notice of Special Assessment Hearings Act calling for a public hearing on May 20, 2024 at 7:00 p.m. on 1) the necessity of the Police Special Assessment District for FY 2024/2025; and 2) to review the Special Assessment Roll for the Police Special Assessment District for FY 2024/2025 and the Village Council shall conduct said public hearing on May 20, 2024 at 7:00 p.m.

BE IT FURTHER RESOLVED, that the Clerk shall mail a notice of public hearing to each owner and party in interest in the property to be assessed; and shall publish the notice at least once in a newspaper of general circulation within the Village at least ten (10) days before the date of the hearing.

AYES:

NAYES:

ABSTENTIONS:

RESOLUTION DECLARED ADOPTED THIS 22 DAY OF April 2024.

CERTIFICATION

I, Ken Marten, the duly qualified Clerk of the Village of Bingham Farms, Oakland County, Michigan, do hereby certify that the foregoing is a true and complete copy of a Resolution adopted by the Village Council of the Village of Bingham Farms on the 22 day of April 2024; the original is on file in the Office of the Clerk.

KEN MARTEN
VILLAGE MANAGER / CLERK

7483972_1

COPY

AGREEMENT FOR LIBRARY SERVICES

THIS AGREEMENT to be effective July 1, 1993, by and between the BOARD OF DIRECTORS OF BALDWIN PUBLIC LIBRARY of Birmingham, Michigan (hereinafter called "Baldwin") and the VILLAGE OF BINGHAM FARMS, a municipal corporation (hereinafter called the "Contracting Community").

WHEREAS, the Contracting Community has no public library facilities and desires to provide library service for its residents, and is authorized by law to do so.

WHEREAS, Baldwin operates an established public library and is willing to make library services available to residents of the Contracting Community during the period of time set forth below, upon payment of the sum hereinafter set forth; and

WHEREAS, Michigan Public Act 92 of 1952, as amended, and Public Act 164 of 1877 authorizes contracts for the furnishing of library services by Baldwin to other municipal corporations.

NOW THEREFORE, the parties agree as follows:

1. During the three fiscal year period of July 1, 1993 to June 30, 1996, Baldwin agrees to make available to residents of the Contracting Community the facilities, book collection and other services of Baldwin on the same basis as the

same are available to the residents of the City of Birmingham. Upon application and proper identification, residents of the Contracting Community will be issued library cards, and will be entitled to the same rights and privileges as residents of the City of Birmingham.

2. As used in the Agreement, the term "Residents of the Contracting Community" will include all persons residing within the corporate limits of the Contracting Community, all owners of real property located within the corporate limits of the Contracting Community, all owners of real property located within the corporate limits of the Contracting Community and all persons regularly employed and working at an employer's establishment located within the corporate limits of the Contracting Community (other than part-time employees.)

3. In exchange for the library services to be thus furnished to the residents of the Contracting Community, the Contracting Community agrees to assign to Baldwin all of the penal fines and state aid grants to which the Contracting Community is entitled pursuant to Michigan Public Act 59 of 1964 and Michigan Public Act 89 of 1977 and all book fines or other charges or fees (per the library's "Fines & Fees Schedule" as approved by the Library Board from time to time) collected by Baldwin with respect to the residents of the Contracting Community and to pay the following amounts:

a) For each fiscal year commencing July 1 and ending the following June 30, while this Agreement remains in force, an amount (hereinafter referred to as the "Contract Amount") determined by multiplying a fraction, the

COPY

numerator of which is the number of household units in the Contracting Community (Bingham Farms) as of the preceding December 31, and the denominator of which is the number of household units in the City of Birmingham and all contracting communities (including Bingham Farms) as of the preceding December 31 times the expenditures budget for library operations for such fiscal year as adopted by the Board of Directors of Baldwin, subject however, to the limitation contained in Paragraph 3c) below.

b) For purposes of the forgoing formula the term household units for each fiscal year will be based upon the total number of household units for the City of Birmingham and each contracting community from the most recent U.S. Census Bureau count as increased by the number of residential unit building permits issued after the date of such count through the December 31 preceding such fiscal year. The source for the number of residential unit building permits issued will be the Oakland County Division of Planning. A schedule reflecting the number of households for the fiscal year July 1, 1993 through June 30, 1994 is attached and made part of this Agreement.

c) In determining the expenditures budget for library operations for any fiscal year under the formula contained in Paragraph 3a) above while this Agreement remains in force, there will be excluded revenues received from an increase over either (i) the presently authorized maximum library millage rate as subject to the Headlee Amendment payable by the City of Birmingham to Baldwin (1.2878 mills as subsequently adjusted by the Headlee Amendment), or

(ii) the presently contracted millage rate as subject to the Headlee Amendment payable by the Village of Beverly Hills, (1.077 mills as subsequently adjusted by the Headlee Amendment).

d) The Contract Amount due from the Contracting Community to Baldwin will be payable as follows during such fiscal year:

25% thereof August 1

COPY

25% thereof November 1

25% thereof February 1

25% thereof May 1

4. Residents of the Contracting Community who apply for and receive library cards from Baldwin will also have available to them the facilities, book collection and other services of the Bloomfield Township Public Library during such periods of time as a reciprocal agreement between Baldwin and the Bloomfield Township Public Library remains in force.

5. This Agreement will be automatically renewed for successive two year periods commencing July 1 in alternate years, occurring after June 30, 1996, unless terminated by either Baldwin or Contracting Community by six months advance written notice.

IN WITNESS WHEREOF, the parties have executed this Agreement by their respective officials thereunto duly authorized, the day and year hereinafter written.

BOARD OF DIRECTORS
BALDWIN PUBLIC LIBRARY

Dated July 20, 1993

By: Jan E. Bird
Jan E. Bird
Its President

By: Paul C. Huesy

CONTRACTING COMMUNITY
VILLAGE OF BINGHAM FARMS

Dated July 21, 1993

By: Robert R. Mandy
Robert R. Mandy
Its President

By: Kathryn O. Haganon

BALDWIN PUBLIC LIBRARY AND VILLAGE OF BINGHAM FARMS

AGREEMENT FOR LIBRARY SERVICE

SCHEDULE OF HOUSEHOLDS
FOR FISCAL YEAR
JULY 1, 1993 THROUGH JUNE 30, 1994

Beverly Hills	4,140	30.4%
Bingham Farms	413	3.0%
Birmingham	<u>9,084</u>	<u>66.6%</u>
	13,637	

7/1/93 through 6/30/94 Library Operating Budget	\$1,963,040
Bingham Farms Percentage	<u>3%</u>
	\$ 58,891

COPY

First Amendment to Agreement for Library Services

This First Amendment to Agreement for Library Services dated 2-18-20 2020, by and between the Board of Directors of Baldwin Public Library of Birmingham, Michigan (hereinafter called "Baldwin") and the Village of Bingham Farms, a municipal corporation (hereinafter called the "Contracting Community").

WHEREAS, the Contracting Community and Baldwin have entered into an Agreement For Library Services effective July 1, 1993 to provide for library services by Baldwin to the Contracting Community (hereinafter called the "Agreement").

WHEREAS, the Contracting Community and Baldwin wish to amend said Agreement.

NOW THEREFORE, the parties agree as follows:

COPY

1. Sections 3. a) through 3. c) of the Agreement are hereby deleted and replaced by following new sections 3. a) through 3. c):
 - a) \$120,817 for the year of services beginning on July 1, 2020, to be increased each subsequent fiscal year by the inflation rate or 3%, whichever is less. The inflation rate shall be based upon the U.S. Consumer Price Index for All Urban Consumers in the Detroit-Warren-Dearborn area for the previous calendar year. The above figure is based upon an original figure of \$117,870 for fiscal year 2019-2020 multiplied by the U.S. Consumer Price Index for All Urban Consumers in the Detroit-Warren-Dearborn for calendar year 2019 (2.5%).
 - b) Intentionally omitted.
 - c) Intentionally omitted.
2. Except as expressly amended herein, the Agreement is hereby reaffirmed.
3. This Amendment and the Agreement shall be governed by and performed, interpreted and enforced in accordance with the laws of the State of Michigan. The parties agree to perform all their obligations provided for in

this Agreement in accordance with and in full compliance with all local, state and federal laws and regulation.

4. If any provision of the Agreement as amended herein is declared invalid, illegal or unenforceable, such provision shall be severed from the Agreement and all other provisions shall remain in full force and effect.

IN WITNESS WHEREOF, the parties have executed this First Amendment by their duly authorized respective officials on the date and year hereinafter written.

BOARD OF DIRECTORS
BALDWIN PUBLIC LIBRARY

COPY

Date: 3/16/2020

By: [Signature]
Its: PRESIDENT

VILLAGE OF BINGHAM FARMS

Date: 2/18/2020

By: [Signature]
Its: Village Administrator

Hi Ken.

Per the Village Council's direction at its February 26, 2024, meeting, attached please find "clean" and "red-lined" copies of the Ordinance Amendment to Section 93-04 of the Woodlands Ordinance. As you will note, the Ordinance Amendment reduces the percentage threshold for proposed regulated tree removal that triggers a tree replacement plan from more than 20% to more than 10%. It would be appropriate to present the Ordinance Amendment to the Village Council for First Reading at its meeting on April 22, 2024.

Thanks, Derk.



Derk W. Beckerleg

Attorney at Law

2600 Troy Center Drive | P.O. Box 5025 | Troy, MI 48007-5025

www.secretwardle.com



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X(a)

STATE OF MICHIGAN
COUNTY OF OAKLAND
VILLAGE OF BINGHAM FARMS
ORDINANCE NO.

AN ORDINANCE TO AMEND SECTION 93.04 – REMOVAL PROHIBITIONS AND PERMIT REQUIREMENTS, OF CHAPTER 93 – TREE AND WOODLANDS PROTECTION AND MAINTENANCE, OF THE VILLAGE OF BINGHAM FARMS CODE OF ORDINANCES, AS AMENDED, TO CHANGE THE PERCENTAGE THRESHOLD OF PROPOSED REMOVAL OF REGULATED TREES REQUIRING A TREE REPLACEMENT PLAN.

THE VILLAGE OF BINGHAM FARMS ORDAINS:

Section 1

Section 93.04 – Removal Prohibitions And Permit Requirements, of Chapter 93, Tree And Woodlands Protection And Maintenance, of the Village of Bingham Farms Code of Ordinances, as amended, is hereby amended to now read as follows:

93.04 REMOVAL PROHIBITIONS AND PERMIT REQUIREMENTS.

(A) No more than three regulated trees may be removed from a site within a two year time period without first obtaining a tree removal permit from the Village ~~Manager~~Administrator and no regulated tree shall be removed from a site without first providing notice to the Village ~~Manager~~Administrator that identifies the tree and removal date. Every person that removes or authorizes removal of a regulated tree from a site is responsible for complying with this section.

(B) No tree removal permit may be approved or issued for activity that will or may cause or result in the removal of more than ~~10%~~20% of the regulated trees on a site, with the regulated trees located in the house building footprint and the regulated trees located in the area that extends six feet from the edge of the house building footprint not being included in the calculation of the 10%, unless a tree replacement plan conforming to the requirements in § 93.09 is submitted and approved by the village.

Section 2

All Ordinances and resolutions or parts of Ordinances and resolutions in conflict herewith are hereby repealed only to the extent necessary to give this Ordinance full force and effect.

Section 3

Should any section, subdivision, clause or phrase of this Ordinance be declared by the court to be invalid, same shall not affect the validity of the Ordinance as a whole or any part thereof, other than the parts invalidated.

Section 4

All proceedings pending and all rights and liabilities existing, acquired or incurred at the time this ordinance takes effect are saved and may be consummated according to the law in force when they are commenced.

Section 5

This Ordinance and the assignment of powers and duties herein shall take effect upon publication in the manner prescribed by law.

CERTIFICATION

I certify that this Ordinance was adopted by the Village Council of the Village of Bingham Farms at a meeting of the Village Council duly called and held on _____, 2024.

VILLAGE OF BINGHAM FARMS

By: _____
Ken Marten, Manager/Clerk

Date: _____

9023856



Council Communication

To: President Blackburn and Village Council Trustees

From: Ken Marten, Village Manager

Date: April 19, 2024

Re: Design Review Board dissolution; ordinance amendments

Dear President Blackburn and Trustees:

Per previous Village Council decisions, Village Attorney Derk Beckerleg has drafted proposed ordinance amendments related to the dissolution of the Village Design Review Board.

• Agenda item X b: Repeal of “Chapter 153: Design Review Board,” of the Village of Bingham Farms Code of Ordinances

This item is on the agenda as a second reading. A motion approving repeal is necessary.

Suggested motion: To adopt the ordinance amendment repealing Chapter 153: Design Review Board,” of the Village of Bingham Farms Code of Ordinances as presented.

• Agenda item X c: Amendments to “Chapter 98: Signs,” of the Village of Bingham Farms Code of Ordinances

This item is on the agenda as a second reading. A motion approving the amendments is necessary. **Suggested motion:** To adopt the ordinance amendments amending Chapter 98: Signs,” of the Village of Bingham Farms Code of Ordinances as presented.

• Agenda item X d: Amendments to “Chapter 157: Zoning Ordinance,” of the Village of Bingham Farms Code of Ordinances

This item is on the agenda as a fourth reading of the proposed Zoning Ordinance amendment – the first by Village Council, the second and third by the Planning Commission. Acting on council’s approved motion and instruction of February 26, 2024, and per state law, the Planning Commission held a public hearing on the matter on April 8, 2024, and subsequently approved recommendation to Village Council to adopt the proposed amendments. The proposed amendments were also reviewed by the village’s planning consultants, Giffels Webster, who determined that they are appropriate. A motion approving the amendments is necessary.

Suggested Motion: To adopt the Zoning Ordinance amendments amending Chapter 157: Zoning Ordinance, of the Village of Bingham Farms Code of Ordinances as presented.

X(b)

**STATE OF MICHIGAN
COUNTY OF OAKLAND
VILLAGE OF BINGHAM FARMS
ORDINANCE NO.**

**AN ORDINANCE TO REPEAL CHAPTER 153: DESIGN REVIEW BOARD, OF THE
VILLAGE OF BINGHAM FARMS CODE OF ORDINANCES, AS AMENDED.**

THE VILLAGE OF BINGHAM FARMS ORDAINS:

Section 1

The Village of Bingham Farms Code of Ordinances, as amended, is hereby amended by repealing Chapter 153: Design Review Board as follows:

Chapter 153: Design Review Board, including Sections 153.01-153.35, is hereby repealed effective immediately.

Section 2 of Ordinance

All Ordinances and resolutions or parts of Ordinances and resolutions in conflict herewith are hereby repealed only to the extent necessary to give this Ordinance full force and effect.

Section 3 of Ordinance

Should any section, subdivision, clause or phrase of this Ordinance be declared by the court to be invalid, same shall not affect the validity of the Ordinance as a whole or any part thereof, other than the parts invalidated.

Section 4 of Ordinance

All proceedings pending and all rights and liabilities existing, acquired or incurred at the time this ordinance takes effect are saved and may be consummated according to the law in force when they are commenced.

Section 5 of Ordinance

This Ordinance shall take effect upon publication in the manner prescribed by law.

CERTIFICATION

I certify that this Ordinance was adopted by the Village Council of the Village of Bingham Farms at a meeting of the Village Council duly called and held on _____, 2024.

VILLAGE OF BINGHAM FARMS

Date: _____

By: _____
Ken Marten, Village Manager/Clerk

8885484

**STATE OF MICHIGAN
COUNTY OF OAKLAND
VILLAGE OF BINGHAM FARMS
ORDINANCE NO.**

AN ORDINANCE TO AMEND SEVERAL SECTIONS OF CHAPTER 98 – SIGNS, OF THE VILLAGE OF BINGHAM FARMS CODE OF ORDINANCES, AS AMENDED, TO DELETE REFERENCES TO THE DESIGN REVIEW BOARD.

THE VILLAGE OF BINGHAM FARMS ORDAINS:

Section 1

Section 98.02(B) – Signs in residential zoning districts, of Chapter 98 – Signs, of the Village of Bingham Farms Code of Ordinances, as amended, is hereby to now read as follows:

(B) Permanent signage for any subdivision or cluster development may be permitted subject to approval by the Planning Commission~~Village Council after review by the Design Review Board.~~

Section 2

Section 98.03(F) and (G)(1)(2) and (3) – Signs in professional services zoning district, of Chapter 98 – Signs, of the Village of Bingham Farms Code of Ordinances, as amended, are hereby amended to now read as follows:

(F) *Internal directory signs.* Freestanding directory signs are permitted within the interior of office sites, parks and complexes and shall not be included in the maximum allowable square footage of identification signage for the building or complex of buildings. Such signs may be up to 15 square feet and 96 inches in height and may be internally illuminated. A plan for the number and placement of internal directory signs shall be ~~submitted~~permitted for review by the Planning Commission~~Design Review Board.~~

(G) *Other conditions.*

~~(1) The design of all signs is subject to review and approval of the Design Review Board;~~

~~(1)(2)~~ No signs shall have any moving parts or flashing illumination;

~~(2)(3)~~ No signs shall have illumination visible from any residentially zoned property. Ground lighting building signs shall be subject to the review and final approval ~~by acceptance of the Design Review Board and said recommendations shall be forwarded to the~~ Planning Commission~~Village Council for final approval;~~

Section 3

Section 98.04(F) and (G)(1), (2), (3), (4), (5) and (6) – Signs in commercial zoning district (C-1), of Chapter 98 – Signs, of the Village of Bingham Farms Code of Ordinances, as amended, are hereby amended to now read as follows:

X(c)

(F) *Internal directory signs.* Freestanding directory signs are permitted within the interior of office sites, parks and complexes and shall not be included in the maximum allowable square footage of identification signage for the building or complex of buildings. Such signs may be up to 15 square feet and 96 inches in height and may be internally illuminated. A plan for the number and placement of internal directory signs shall be submitted for review by the Planning Commission~~Design Review Board~~.

(G) *Other conditions.*

- ~~(1) The design of all signs is subject to review and approval of the Design Review Board;~~
- ~~(1)(2)~~ No signs shall have any moving parts or flashing illumination;
- ~~(2)(3)~~ No signs shall be illuminated that face any residentially zoned property;
- ~~(3)(4)~~ No signs shall be located so as to be a hazardous to traffic safety;
- ~~(4)(5)~~ When located inside a building and visible from outside the building, no sign shall be lit or in any manner illuminated by artificial lighting nor be constructed of any light reflective materials;
- ~~(5)(6)~~ In the case of buildings larger than 200,000 square feet, the Village Council may determine, based upon a recommendation from the Planning Commission, whether the building qualifies as more than one building for purposes of determining maximum allowable sign area. The Planning Commission may determine that a principal building wing or similar architectural element may be treated in the same manner as a separate building.

Section 4

Section 98.06 – Administration, of Chapter 98 – Signs, of the Village of Bingham Farms Code of Ordinances, as amended, are hereby amended to now read as follows:

The Clerk shall have the responsibility and authority to administer and enforce all provisions of this chapter other than those provisions with powers specifically reserved to the Planning Commission~~Design Review Board~~ or the Village Council. The inspection and notification responsibilities of the Clerk, under this section may be performed by employees, agents or contractors of the village, appointed by and under the supervision of the Clerk.

Section 5

Section 98.07(A), (B) and (D) – Appeals and variances, of Chapter 98 – Signs, of the Village of Bingham Farms Code of Ordinances, as amended, are hereby amended to now read as follows:

(A) An appeal from the decision of the Clerk, or Planning Commission~~Design Review Board~~ pursuant to the terms of this chapter in respect to location, number, design, size, materials, illumination erection, alteration, maintenance or removal of signs, may be taken to the Village Council.

(B) The Village Council may review the decisions of the Clerk or Planning Commission~~Design Review Board~~ and grant variances from the requirements of this chapter. The Village Council

shall have the power and duty to hear, decide and grant or deny the request variance from the provisions or requirements of this chapter only where:

- (1) The literal interpretation and strict application of the provisions and requirements of this chapter would cause undue and unnecessary hardship to the sign user because of unique or unusual conditions pertaining to the specific building or parcel or property in question;
- (2) The granting of the requested variance would not be materially detrimental to the property owners in the vicinity.
- (3) The unusual conditions applying to the specific property do not apply generally to other properties in the village; and
- (4) The granting of the variance will not be contrary to the general objectives of this chapter moderating the size, number and obtrusive placement of signs and the reduction of clutter. In granting a variance, the village council may attach thereto such conditions regarding the proposed sign as it may deem necessary to carry out the spirit and purpose of this chapter in the public interest.

(D) The Village Council shall make no decision except in a specific case and after a hearing conducted by the Village Council. The concurring vote of a majority of the membership of the Village Council (four members of the Village Council) shall be necessary to reverse any order, requirement, decision or determination of the Village Clerk or ~~Planning Commission~~ ~~Design Review Board~~ or to decide in favor of an application of any matter upon which they are required to pass under this chapter, including a request for a variance. A written notice of the time and place of the public hearing shall be mailed by First Class Mail, postage prepaid, at least ten days prior to the date of the hearing, to the owners of record of all lots or parcels of land living within 500 feet of the property in question. A proof of service of such mailing shall be filed prior to the commencement of the hearing. The Village Council shall by resolution make the necessary provisions requiring the applicant to pay the costs required relative to the hearing of the appeal, including costs of mailing and administrative expenses.

Section 6

All Ordinances and resolutions or parts of Ordinances and resolutions in conflict herewith are hereby repealed only to the extent necessary to give this Ordinance full force and effect.

Section 7

Should any section, subdivision, clause or phrase of this Ordinance be declared by the court to be invalid, same shall not affect the validity of the Ordinance as a whole or any part thereof, other than the parts invalidated.

Section 8

All proceedings pending and all rights and liabilities existing, acquired or incurred at the time this ordinance takes effect are saved and may be consummated according to the law in force when they are commenced.

Section 9

This Ordinance and the assignment of powers and duties herein shall take effect upon publication in the manner prescribed by law.

CERTIFICATION

I certify that this Ordinance was adopted by the Village Council of the Village of Bingham Farms at a meeting of the Village Council duly called and held on _____, 2024.

VILLAGE OF BINGHAM FARMS

Date: _____

By: _____
Ken Marten, Manager/Clerk

8895658

memorandum

DATE: April 5, 2024
TO: Ken Marten, Village Administrator
FROM: Jill Bahm, Eric Pietsch, Giffels Webster
SUBJECT: Ordinance Amendment: Residential Design/Design Review Board (DRB)

Proposed Ordinance Amendment

Per the direction of the Village Council and Village Administration, the proposed amendments of Section 3.16 -Residential Design, drafted by the Village Attorney, have been reviewed by us, the Village Planning consultant. Aside from a few minor grammatical corrections, we express no objection to the proposed amendment for consideration by the Planning Commission on April 8, 2024.

STATE OF MICHIGAN
COUNTY OF OAKLAND
VILLAGE OF BINGHAM FARMS
TEXT AMENDMENT TO ZONING ORDINANCE
ORDINANCE NO.

AN ORDINANCE TO AMEND CHAPTER 157 – ZONING ORDINANCE, OF THE VILLAGE OF BINGHAM FARMS CODE OF ORDINANCES, AS AMENDED, BY AMENDING SECTION 3.16 RESIDENTIAL DESIGN – INTENT, PRINCIPLES AND GUIDELINES AND RENAMING SAID SECTION TO RESIDENTIAL DESIGN – ADDITIONAL REQUIREMENTS, ADDING A NEW SECTION 3.16.5 – RESIDENTIAL DESIGN – SUGGESTED GUIDELINES AND AMENDING SEVERAL OTHER SECTIONS OF THE ZONING ORDINANCE **TO DELETE REFERENCES TO THE DESIGN REVIEW BOARD.**

THE VILLAGE OF BINGHAM FARMS ORDAINS:

Section 1 of Ordinance

Section 3.16 Residential Design – Intent, Principles and Guidelines of Chapter 157 – Zoning Ordinance, of the Village of Bingham Farms Code of Ordinances, as amended, is hereby amended to now read as follows:

3.16 Residential Design – Additional Requirements~~Intent, Principles, and Guidelines~~

~~A. Intent. The following design guidelines identify the elements of appropriate residential development in Bingham Farms. The intent of these design guidelines is to provide a reference for the appropriate integration of new construction into the village, thereby promoting an appearance which is characteristic of Bingham Farms. The guidelines are intended to give the Design Review Board (DRB), property owners, architects, and general contractors information needed to make appropriate design decisions when presenting a project for review by the DRB. Following the design guidelines will ensure that the unique character of Bingham Farms is maintained and that residents' investments are protected.~~

- ~~1. Guidelines are given for the following design elements: building form, scale, and placement on site; exterior materials and colors; roofs; front entries; windows and shutters; front porches; garages and driveways; and landscaping. Guidance on appropriate architectural styles is also offered. Illustrations and detailed descriptions of appropriate design elements and architectural styles can be found in (C) of this Section.~~
- ~~2. While applicable throughout the village, these design guidelines are particularly critical for new construction on Bingham Road and Bingham Lane, where characteristic Bingham Farms homes are most highly concentrated. On Old Orchard Trail, Hickory Hollow Lane, Shagwood Drive, and Bingham Court the neighborhood area classified as having a "Contemporary Mix" of housing styles upholding the design guidelines is also encouraged, as this area has a number of homes which are distinctive to the village and the area is close to Bingham Road and Bingham Lane. Additionally, it is recommended that~~

~~new construction on Bristol Lane adhere to the design guidelines, since this street lacks a particular character of its own and since its large lots could provide new homes with the country-like setting typical of characteristic village houses.~~

~~AB. Guiding principles.—These additional requirements are design guidelines offer specific principles for residential development in the village. All of these principles should be applied with the following general guidance in mind:~~

~~1. Residential infill/redevelopment shall be consistent with the predominant character of the existing neighborhood or with the distinctive Bingham Farms characteristics identified in the master plan and division (A)(2) above.~~

~~12. Residential infill/redevelopment proposals shall be consistent with the use and density recommendations of the master plan. To that end, all requests for rezoning will be measured against the adopted master plan.~~

~~23. Residential infill/redevelopment shall not require public expenditure for infrastructure improvements. The cost of all infrastructure upgrades shall be borne by the development sponsor.~~

~~34. Residential infill/redevelopment shall not receive density credit for unbuildable, natural features, including regulated wetlands, floodplains, and fragile, steep slopes in excess of 20%.~~

~~C. Design Guidelines for Residential Zones.—Dwellings shall adhere to at least five of the following nine general guidelines, as determined by the Design Review Board:~~

~~1. Building form, scale and placement on site.~~

~~a. New homes should respect the form, bulk, and size of characteristic homes in their neighborhood, and should have comparable setbacks. A house's bulk, which is a function of its height, floor area, and proximity to the street, should not exceed that of nearby characteristic homes. Bulk, or the volume occupied by a home, is a spatial dimension which is perceived differently depending on the distance from which a house is viewed.~~

~~b. The proportion between a house's footprint and lot area should be similar to that of characteristic neighborhood homes.~~

~~c. New homes should be built as a central section with side wings.~~

~~d. For a new residence, the maximum number of recommended stories is two. A story that is less than 75% of the floor below is considered a half story. Half stories on characteristic homes typically feature dormer windows.~~

~~e. Both front and side setbacks should be generous, fostering a country-like setting.~~

~~f. Side setbacks should correspond with the side yard dimensions of characteristic neighborhood homes.~~

~~g. Homes should not use minimum setback standards to establish their maximum desirable footprint.~~

4h. The front yard setback of an infill house shall~~should~~ be equivalent to the average front setback of homes within 200 feet on the same side of the street; this may require~~permit~~ a front setback that is less than the minimum required for the applicable zoning district.

~~2. Exterior materials and colors. New houses should employ materials and colors common to, complimentary to or compatible with characteristic Bingham Farms homes:~~

~~a. Preferred materials include wood for lap siding and trim, and brick/fieldstone for foundations, chimneys, and decorative features.~~

~~b. Vinyl is discouraged, unless it is visually indistinguishable from authentic materials, such as Hardie Plank.~~

~~c. Deed restrictions in effect as of the date of adoption of this section, that require particular exterior materials (e.g., brick) shall supersede the design guidelines.~~

~~d. Unless the colors of nearby homes differ, siding should be white or an earth tone color compatible with or complimentary to nearby homes.~~

~~3. Roofs.~~

~~a. New homes' roof lines and pitches should be similar to those of characteristic village homes.~~

~~b. Roof lines should be broken, with separate roofs covering the central section and the side wings; additions and successive side wings (such as for garages) should have their own distinct roof lines.~~

~~c. Roof pitches should be moderate or low, typically between 4/12 and 10/12; Maximum roof pitches of 10/12 are acceptable for one and a half story homes. Flat roofs as well as steep roofs over 10/12 pitch are discouraged, unless they are elements of an approved modern architectural style as described in division (9)(c) of this section.~~

~~4. Front entries.~~

~~a. The front entry should be clearly recognizable as the primary entrance. Front entries should not, however, be monumental (appearing as two stories).~~

~~b. The primary entrance should be oriented to the street.~~

~~c. Glass around front doors is encouraged, but should be limited to modestly sized transoms, fanlights, and sidelights.~~

~~5. Windows and shutters.~~

~~a. Windows should be double hung and multi-paned to provide a divided light appearance.~~

~~b. Windows should be one story.~~

~~c. Except for fanlights, arched windows are discouraged.~~

~~d. Gabled dormer windows are recommended for the upper story of one and a half story homes.~~

~~e. If shutters are included in a home's design, they should be in direct proportion to the window opening.~~

~~6. Front porches.~~

~~a. Porches visible from the street should be rectilinear.~~

~~5b. Porches shall not exceed~~should be one story in height.

~~c. Simple designs for railings and posts are encouraged.~~

~~i. Posts should avoid complex shapes and ornamentation.~~

~~ii. Ornate capitals are discouraged.~~

~~7. Garages and driveways.~~

~~a. Garages should not be prominently visible from the street.~~

~~6i. Detached garages shall~~should be located in the rear yard ~~when practical.~~

~~7. Invasive plants, such as those listed on either the State of Michigan Invasive Species Program List or the Oakland County Cooperative Invasive Species Management Area list, shall not be planted on residential properties.~~

~~ii. Attached garages should follow these guidelines:~~

~~(A) Entry from the side is preferable;~~

~~(B) If a garage must face the street, it should be recessed behind the wall plane of the house's main facade;~~

~~(C) Doors of street-facing garages should be recessed under eaves or other architectural elements such as trellises;~~

~~(D) Attached garages should have their own roof lines and appear as a distinct section of the home; and~~

~~(E) Garages should be distinctly smaller in scale than the central portion of the home.~~

8. For a new residence, the maximum number of stories is two. A story that is less than 75% of the floor area is considered a half story. **Half stories on characteristic homes typically feature dormer windows.**

~~8. Landscaping. Landscaping should be incorporated as an integral part of a project's design.~~

~~9. Architectural style.~~

~~a. The use of classic architectural styles common to the characteristic neighborhoods, including Greek Revival, Italianate, Cape Cod, Colonial Revival, and Midwestern Farmhouse, is encouraged for new construction.~~

~~b. The New Victorian style is discouraged, except on Woodlynne Drive, where this style already predominates.~~

~~c. Where appropriate, modern architectural styles such as: organic architecture, International Style, Art Deco, and similar styles, may be approved where they complement and do not detract from classic styles characteristic of the particular Bingham Farms neighborhood.~~

~~Design element and architectural style illustrations. Refer to the illustrations which follow. These images are intended to illustrate certain building elements described above, as noted in the text~~

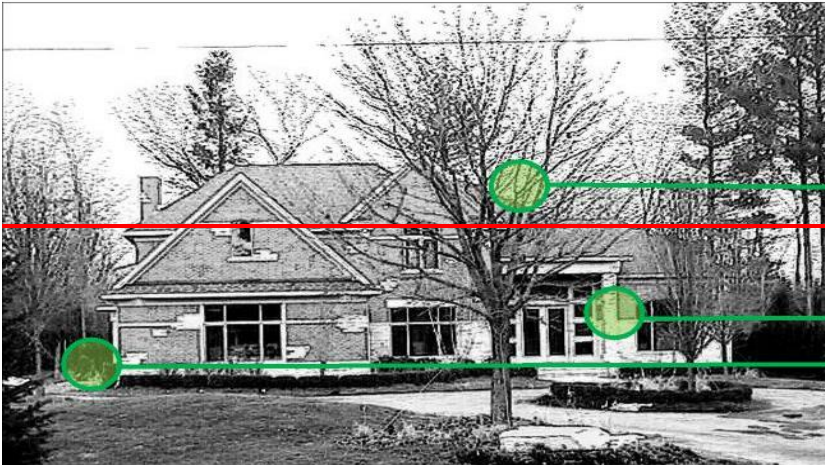
that accompanies each image. However, they also may contain additional building elements that do not comply with the text herein.

Design Standards for Residences



Sloped roof with “broken” roof lines: See 3(b) and 3(c)

Front entry is prominent and faces the street. See 4(a) and 4(b)
Side facing garage. See 7(a)



Sloped roof with “broken” roof lines: See 3(b) and 3(c)

Front entry is prominent and faces the street. See 4(a) and 4(b)
Side facing garage. See 7(a)



Shutters are sized appropriately and could cover the window. See
Dormer windows are appropriate for this half-story. See 5(d)

Landscaping is integrally designed with home design. See 8(a)



Sloped roof with “broken” roof lines. See 3(b) and 3(c)

Windows are one-story and have divided light appearance. See 5(a) and 5(b)

Porch on front of home is one-story and has simple posts and rails. See 6(a), (6(b), and 6(c)



Shutters are sized appropriately and could cover the window. See

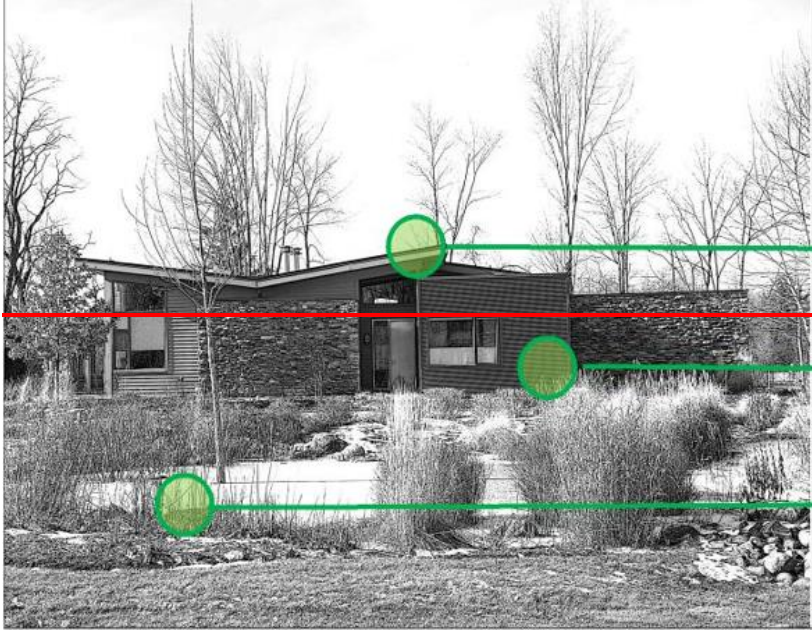
Side facing garage. See 7(a)(i)



Dormer windows are appropriate for this half story. See 5(d)

Shutters are sized appropriately and could cover the window. See

Front entry is prominent and faces the street. See 4(a) and 4(b)



Sloped with “broken” roof lines: See 3(b) and 3(e)

Natural building materials. See 2(a-e)

Landscaping is well integrated with the design of the home. See 8(a)



Side facing garage. See 7(a)

Home design is compatible with adjacent homes and is proportional to lot. See 1(a) and 1(e)

Section 2 of Ordinance

Chapter 157 – Zoning Ordinance of the Village of Bingham Farms Code of Ordinances, as amended, is hereby amended to add a new Section 3.16.5 – Residential Design – Suggested Guidelines, to read as follows:

3.16.5 Residential Design – Suggested Guidelines

A. Intent. The following design guidelines identify the elements of desired residential development in Bingham Farms. The intent of these suggested design guidelines is to provide a reference for the appropriate integration of new construction into the village, thereby promoting an appearance which is characteristic of Bingham Farms. The guidelines are only suggested guidelines and are not requirements and are intended to encourage property owners, architects, and general contractors to make appropriate design decisions when presenting a project for residential construction. Following the design guidelines will help ensure that the

unique character of Bingham Farms is maintained and that residents' investments are protected.

1. Suggested guidelines are given for the following design elements: building form, scale, and placement on site; exterior materials and colors; roofs; front entries; windows and shutters; front porches; garages and driveways; and landscaping. Guidance on appropriate architectural styles is also offered. Illustrations and detailed descriptions of desired and suggested design elements and architectural styles can be found in (C) of this Section.
2. While these suggested guidelines are encouraged throughout the village, these suggested design guidelines are particularly critical for new construction on Bingham Road and Bingham Lane, where characteristic Bingham Farms homes are most highly concentrated. On Old Orchard Trail, Hickory Hollow Lane, Shagwood Drive, and Bingham Court – the neighborhood area classified as having a “Contemporary Mix” of housing styles – upholding the design guidelines is also encouraged, as this area has a number of homes which are distinctive to the village and the area is close to Bingham Road and Bingham Lane. Additionally, it is recommended that new construction on Bristol Lane follow the suggested design guidelines, since this street lacks a particular character of its own and since its large lots could provide new homes with the country-like setting typical of characteristic village houses.

B. Guiding principles. These suggested design guidelines encourage specific principles for residential development in the village. All of these principles should be considered, keeping in mind that all residential infill/development should attempt to be consistent with the predominant character of the existing neighborhood or with the distinctive Bingham Farms characteristics identified in the Master Plan and division (A)(2) above, with the following general guidance in mind:

1. Residential infill/redevelopment should attempt to be consistent with the predominant character of the existing neighborhood or with the distinctive Bingham Farms characteristics identified in the master plan and division (A)(2) above.

C. Suggested Design Guidelines for Residential Zones. Dwellings are encouraged to follow at least five of the following nine suggested guidelines:

1. Building form, scale and placement on site.

- a. New homes should respect the form, bulk, and size of characteristic homes in their neighborhood, and should try to have comparable setbacks. A house's bulk, which is a function of its height, floor area, and proximity to the street, should generally not exceed that of nearby characteristic homes. Bulk, or the volume occupied by a home, is a spatial dimension which is perceived differently depending on the distance from which a house is viewed.
- b. The proportion between a house's footprint and lot area should be similar to that of characteristic neighborhood homes.
- c. New homes should be built as a central section with side wings.
- d. Both front and side setbacks should be generous, fostering a country-like setting.
- e. Side setbacks should correspond with the side yard dimensions of characteristic neighborhood homes.

- f. Homes should not use minimum setback standards to establish their maximum desirable footprint.
- 2. Exterior materials and colors. New houses should employ materials and colors common to, complimentary to or compatible with characteristic Bingham Farms homes:
 - a. Preferred materials include wood for lap siding and trim, and brick/fieldstone for foundations, chimneys, and decorative features.
 - b. Vinyl is discouraged, unless it is visually indistinguishable from authentic materials, such as Hardie Plank.
 - c. Unless the colors of nearby homes differ, siding should be white or an earth tone color compatible with or complimentary to nearby homes.
- 3. Roofs.
 - a. New homes' roof lines and pitches should be similar to those of characteristic village homes.
 - b. Roof lines should be broken, with separate roofs covering the central section and the side wings; additions and successive side wings (such as for garages) should have their own distinct roof lines.
 - c. Roof pitches should be moderate or low, typically between 4/12 and 10/12; Maximum roof pitches of 10/12 are acceptable for one-and-a-half-story homes. Flat roofs as well as steep roofs over 10/12 pitch are discouraged, unless they are elements of an approved modern architectural style as described in division (9)(c) of this section.
- 4. Front entries.
 - a. The front entry should be clearly recognizable as the primary entrance. Front entries should not, however, be monumental (appearing as two stories).
 - b. The primary entrance should be oriented to the street.
 - c. Glass around front doors is encouraged, but should be limited to modestly sized transoms, fanlights, and sidelights.
- 5. Windows and shutters.
 - a. Windows should be double-hung and multi-paned to provide a divided light appearance.
 - b. Windows should be one story.
 - c. Except for fanlights, arched windows are discouraged.
 - d. Gabled dormer windows are recommended for the upper story of one-and-a-half story homes.
 - e. If shutters are included in a home's design, they should be in direct proportion to the window opening.
- 6. Front porches.
 - a. Porches visible from the street should be rectilinear.

b. Simple designs for railings and posts are encouraged.

i. Posts should avoid complex shapes and ornamentation.

ii. Ornate capitals are discouraged.

7. Garages and driveways.

a. Garages should not be prominently visible from the street.

b.i. Attached garages should follow these guidelines:

(iA) Entry from the side is preferable;

(iiB) If a garage must face the street, it should be recessed behind the wall plane of the house's main facade;

(iiiC) Doors of street-facing garages should be recessed under eaves or other architectural elements such as trellises;

(ivD) Attached garages should have their own roof lines and appear as a distinct section of the home; and

(vE) Garages should be distinctly smaller in scale than the central portion of the home.

8. Landscaping. Landscaping should be incorporated as an integral part of a project's design.

9. Architectural style.

a. The use of classic architectural styles common to the characteristic neighborhoods, including Greek Revival, Italianate, Cape Cod, Colonial Revival, and Midwestern Farmhouse, is encouraged for new construction.

b. The New Victorian style is discouraged, except on Woodlynne Drive, where this style already predominates.

c. Where appropriate, modern architectural styles such as: organic architecture, International Style, Art Deco, and similar styles, may be considered where they complement and do not detract from classic styles characteristic of the particular Bingham Farms neighborhood.

Suggested design element and architectural style illustrations. Refer to the illustrations which follow. These images are intended to illustrate certain building elements described above, as noted in the text that accompanies each image. However, they also may contain additional building elements that do not comply with the text herein.

Design Standards for Residences



Sloped roof with “broken” roof lines: See 3(b) and 3(c)

Front entry is prominent and faces the street. See 4(a) and 4(b)

Side-facing garage. See 7(b)(i)(a)



Sloped roof with “broken” roof lines: See 3(b) and 3(c)

Front entry is prominent and faces the street. See 4(a) and 4(b)

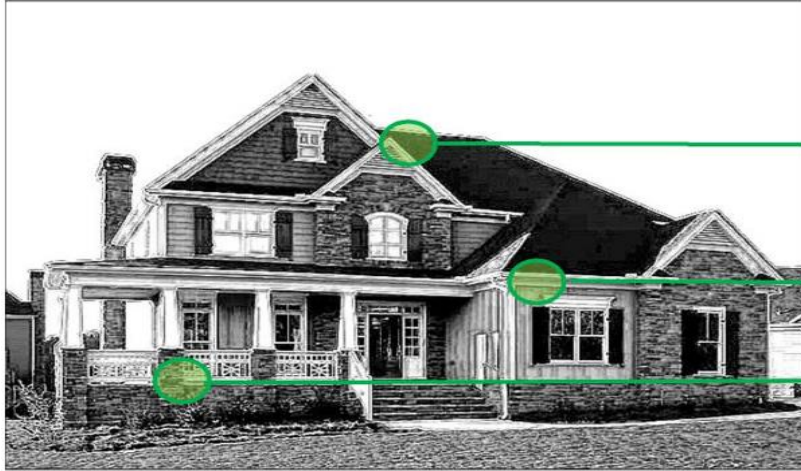
Side-facing garage. See 7(b)(i)(a)



Shutters are sized appropriately and could cover the window. See (5)(e)(G)

Dormer windows are appropriate for this half-story. See 5(d)

Landscaping is integrally designed with home design. See 8



Sloped roof with “broken” roof lines: See 3(b) and 3(c)

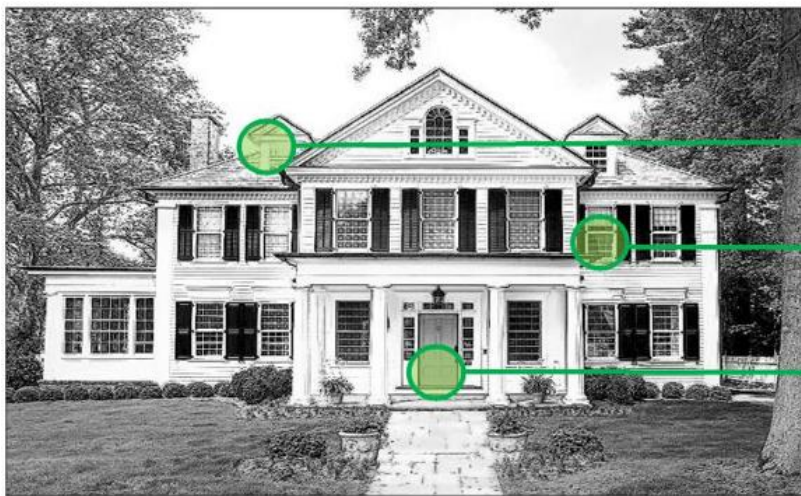
Windows are one-story and have divided light appearance. See 5(a) and 5(b)

Porch on front of home is one-story and has simple posts and rails. See 6(a) and 6(b) and 3.16(5)



Shutters are sized appropriately and could cover the window. See 5(e)

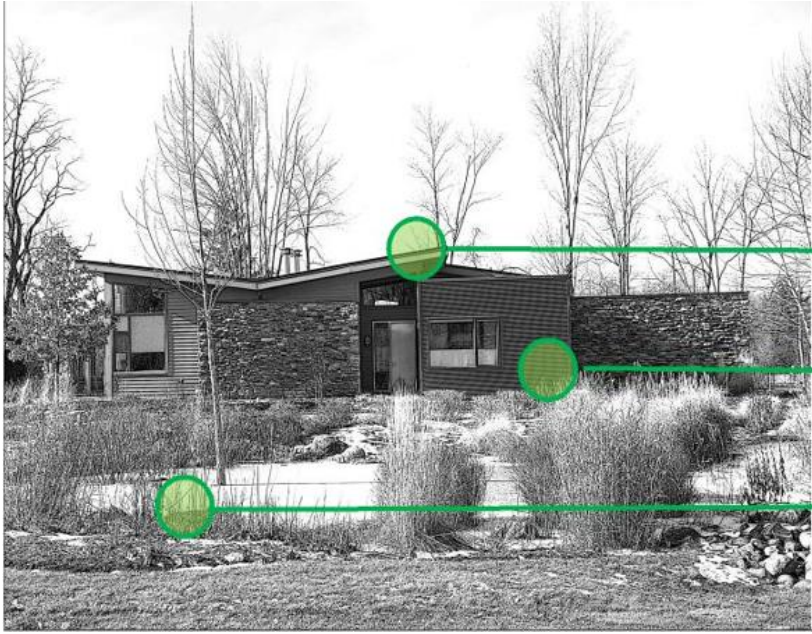
Side-facing garage. See 7(b)(i)(a)



Dormer windows are appropriate for this half-story. See 5(d)

Shutters are sized appropriately and could cover the window. See 5(e)

Front entry is prominent and faces the street. See 4(a) and 4(b)



Sloped with “broken” roof lines: See 3(b) and 3(c)

Natural building materials. See 2(a-c)

Landscaping is well-integrated with the design of the home. See 8



Side-facing garage. See 7(b)(i)(a)

Home design is compatible with adjacent homes and is proportional to lot. See 1(a) and 1(e)

Section 3 of Ordinance

The definition of “fence” as contained in Section 2.2 – Definitions, of Chapter 157 – Zoning Ordinance, of the Village of Bingham Farms Code of Ordinances, as amended, is hereby amended to now read as follows:

FENCE. Any structure or man-made barrier comprised of any material other than vegetation, with a generally open design and intended to enclose, screen, separate, mark the boundary of or limit access to all or part of an area of land. The term “fence” shall exclude any courtyard enclosure, garden wall, requirement trash receptacle enclosure, requiring mechanical equipment enclosure, required parking lot screening or similar structure integral to the design of a dwelling or the site plan for a non-residential building, that complies with all principal building setbacks, is approved by the ~~Design Review Board~~ or Planning Commission, and for which a permit has been issued.

Section 4 of Ordinance

The definition of “wall” as contained in Section 2.2 – Definitions, of Chapter 157 – Zoning Ordinance, of the Village of **Bingham Farm** Code of Ordinances, as amended, is hereby amended to now read as follows: **Farms**

WALL. Any structure or man-made barrier, comprised of any material other than vegetation, with a generally solid design and intended to enclose, screen, separate, mark the boundary of or limit access to all or part of an area of land. The term wall shall exclude any courtyard enclosure, garden wall or required trash receptacle enclosure, required mechanical equipment enclosure, required parking lot screening or similar structure integral to the design of a dwelling or the site plan for a non-residential building, that complies with all principal building setbacks, is approved by the ~~Design Review Board or~~ Planning Commission, and for which a permit has been issued.

Section 5 of Ordinance

Section 3.5.E – R-4 Clustered One-Family Residential – Development Standards, of Chapter 157 – Zoning Ordinance, of the Village of **Bingham Farm** Code of Ordinances, as amended, is hereby amended to now read as follows: **Farms**

- Other maximum gross floor areas may be approved by the ~~Planning Commission~~**Design Review Board under Chapter 153 of this code.**

Section 6 of Ordinance

Section 3.6.E – R-5 Clustered One-Family Residential – Development Standards, of Chapter 157 – Zoning Ordinance, of the Village of **Bingham Farm** Code of Ordinances, as amended, is hereby amended to now read as follows: **Farms**

*Other maximum gross floor areas may be approved by the ~~Planning Commission~~**Design Review Board under Chapter 153 of this code.**

Section 7 of Ordinance

Section 3.12 – Notes to District Standards, of Chapter 157 – Zoning Ordinance, of the Village of **Bingham Farm** Code of Ordinances, as amended, is hereby amended to now read as follows: **Farms**

3.12 Notes to District Standards

- A. The maximum gross floor area of a principal dwelling, expressed in square feet, shall be the greater of: 2,500 plus the lot area multiplied by a factor of 0.13 [(lot area x 0.13) + 2,500 = maximum gross floor area]. The ~~Planning Commission~~**Design Review Board, under Chapter 153 of this code,** may approve in a final decision the maximum gross floor area.
- B. Each dwelling unit shall be **provided** capable of storing two passenger automobiles.

- C. Each dwelling shall be furnished a public water supply and a public sanitary sewer.
- D. Side street setback. The width of a side yard abutting upon a side street shall not be less than minimum front yard depth required on an adjoining lot fronting upon such side street.

Section 8 of Ordinance

Section 3.21.F.2.C – **Planned Planning** Unit Development (PUD) – Design Review Board review of proposed PUD plan, of Chapter 157 – Zoning Ordinance, of the Village of **Bingham Farm** Code of Ordinances, as amended, is hereby amended and deleted to now read as follows: **Farms**

- c. ~~Design Review Board review of the proposed PUD Plan. The Design Review Board shall provide its recommendation to Village Council with respect to the design of buildings and landscaping in the proposed PUD Plan.~~

Section 9 of Ordinance

Section 3.21.F.3.a – **Planned Planning** Unit Development (PUD) – Final approval of Planned Unit Development, of Chapter 157 – Zoning Ordinance, of the Village of **Bingham Farm** Code of Ordinances, as amended, is hereby amended to now read as follows: **Farms**

3. Final approval of Planned Unit Development:

- a. Upon receipt of the report and recommendation of the Planning Commission ~~and Design Review Board~~, and after the public hearing required above, the Village Counsel shall review all findings. If the Village Council shall determine to grant the application, it shall instruct the Village attorney to prepare a contract setting forth the conditions upon which such approval is based.

Section 10 of Ordinance

Section 6.1.B.15 – Site Plan Review – Site Information Maps and Plans Required, of Chapter 157 – Zoning Ordinance, of the Village of **Bingham Farm** Code of Ordinances, as amended, is hereby amended to now read as follows: **Farms**

- 15. Building architectural elevations/front, side, rear/indicating proposed construction materials, including color and design/~~all information necessary to comply with Chapter 1543, Design Review Board.~~

Section 11 of Ordinance

Section 6.1.E.3 – Site Plan Review – Council Review, of Chapter 157 – Zoning Ordinance, of the Village of **Bingham Farm** Code of Ordinances, as amended, is hereby amended to now read as follows: **Farms**

3. Council may approve, approve with conditions^{comma} or reject the plan. ~~Approval or conditional approval would be subject to review by the Design Review Board of those aspects of the plan under their jurisdiction. All requirements of Chapter 153, Design Review Board, must be met in this regard.~~

Section 12 of Ordinance

Section 6.1.F.1 – Site Plan Review – Plans, Documents and Construction, of Chapter 157 – Zoning Ordinance, of the Village of **Bingham Farm** Code of Ordinances, as amended, is hereby amended to now read as follows: Farms

F. Plans, Documents and Construction

1. Following Council action ~~and any necessary Design Review Board consideration~~, the plan shall be returned to the office of the Village Clerk who shall notify the village consultants that a letter of approval will be issued following receipt of all applicable site plan review expenses.

Section 13 of Ordinance

Section 6.4.D.2 – Site Condominium Development Regulations – Site Plan Review of Site Condominium Development, of Chapter 157 – Zoning Ordinance, of the Village of **Bingham Farm** Code of Ordinances, as amended, is hereby amended to now read as follows: Farms

2. Site plan content and submission procedures shall be in accordance with §6.1.

The content of the plan shall also include information to comply with the village engineering design standards, ~~the village's Design Review Board ordinance set forth in Chapter 153~~ and the State of Michigan Condominium Act, Public Act 59 of 1978, being M.C.L.A. §§ 559.01 through 559.272, as amended.

Section 14 of Ordinance

Section 6.4.F.3 – Site Condominium Development Regulations – Construction of Building Sites, of Chapter 157 – Zoning Ordinance, of the Village of **Bingham Farm** Code of Ordinances, as amended, is hereby amended and deleted to now read as set forth below and existing Section 6.4.F.4 – Requirements for certificate of occupancy for each building site, is hereby renumbered to new Section 6.4.F.3: Farms

- ~~3. Prior to issuance of a permit for construction of a particular building envelope, all requirements of the Design Review Board ordinances set forth in Chapter 153 for single family residential dwellings must be met.~~

Section 153 of Ordinance

All Ordinances and resolutions or parts of Ordinances and resolutions in conflict herewith are hereby repealed only to the extent necessary to give this Ordinance full force and effect.

Section 164 of Ordinance

Should any section, subdivision, clause or phrase of this Ordinance be declared by the court to be invalid, same shall not affect the validity of the Ordinance as a whole or any part thereof, other than the parts invalidated.

Section 175 of Ordinance

All proceedings pending and all rights and liabilities existing, acquired or incurred at the time this ordinance takes effect are saved and may be consummated according to the law in force when they are commenced.

Section 186 of Ordinance

This Ordinance shall take effect upon publication in the manner prescribed by law.

CERTIFICATION

I certify that this Ordinance was adopted by the Village Council of the Village of Bingham Farms at a meeting of the Village Council duly called and held on _____, 2024.

VILLAGE OF BINGHAM FARMS

By: _____
Ken Marten, Village Manager/Clerk

Date: _____



MEMORANDUM

To: Council

From: William Pattyn, Treasurer

Re: 2024 - 2025 Budget Summary Update

Date: April 22, 2024

High Level Overview:

- Will continue to utilize last budget year's format for consistency.
- Gathering information for budget input.
- Reviewing Village's agreement with our vendors / service providers determine cost increases. (Fire Budget Increase & Healthcare)

Revenues:

- Based on State Tax Commission Assessment Roll Certification (Board of Review L-4037) Total Real & Personal Property Tentative Taxable Value increased by 6.5% from 2023
 - 2023 = \$204.1M
 - 2024 = \$217.3M
- State Constitutional Revenue Sharing estimates increase <1.0%
- State Revenue estimates for ACT 51 for FY24/25 increase by 2.0% - 2.5%

Expenses:

- Police budget increased 4.3% based mostly on personnel costs.
 - Contractual salary increases.
 - Healthcare / Retirement MERS
 - Maintenance on Police Station
 - SAD increased - 3%.
 - Overall increase to VBF - 4%
- Fire budget increased 12.94%.
- Salaries & benefits costs / Village Staff
 - Healthcare - BCBS (12%) / Guardian / MERS
 - MMRMA Insurance increase 7%
 - Salary policy review - based on current market (3% - 5%) & CPI, Detroit-Warren-Dearborn Area (2.8% - 4.5%)
- Baldwin Library increased 3%.
- Car Trucking increased - 5% prior year - Agreement expires on 1/31/25 increase??
- Jamestowne South - Office lease increase 2%.

VILLAGE OF BINGHAM FARMS

RESOLUTION TO ESTABLISH PUBLIC HEARING DATE ON PROPOSED BUDGET FOR FISCAL YEAR 2024-2025 AND TO PREPARE AND PUBLISH NOTICE

At a regular meeting of the Village Council of the Village of Bingham Farms, Oakland County, Michigan, held in the Council Chambers at 24255 West Thirteen Mile Road, Suite 190, Bingham Farms, Michigan 48025, at 7:00 p.m. on April 22, 2024, the following resolution was offered by Councilperson _____ and supported by Councilperson _____:

WHEREAS, the Budget Hearings of Local Governments Act, MCL 141.411 et seq., requires the Village to hold a public hearing on its proposed budget and give notice of the hearing by publication in a newspaper of general circulation within the Village at least six (6) days before the hearing, that 1) includes the time and place of the hearing; 2) states where a copy of the budget is available for public inspection; and 3) includes the statement printed in 11 point boldfaced type: “ The Property tax millage rate proposed to be levied to support the proposed budget will be a subject of this hearing.”

THEREFORE, BE IT RESOLVED, that the Clerk and Treasurer shall prepare a notice calling for a public hearing on May 20, 2024 at 7:00 p.m. on the proposed Village Budget and proposed property tax millage rate to be levied for Fiscal Year 2024-2025 that conforms to the requirements of the Budget Hearings of Local Governments Act; shall publish the notice in a newspaper of general circulation on May 8, 2024; and shall place a copy of the proposed budget on file and available for public inspection at the Village Office, 24255 W. Thirteen Mile Rd., Suite 190, Bingham Farms, Michigan and the Village Council shall conduct said public hearing on May 20, 2024 at 7:00 p.m.

AYES:

NAYES:

ABSTENTIONS:

RESOLUTION DECLARED ADOPTED THIS 22 DAY OF APRIL, 2024.

CERTIFICATION

I, Ken Marten, the duly qualified Clerk of the Village of Bingham Farms, Oakland County, Michigan, do hereby certify that the foregoing is a true and complete copy of a Resolution adopted by the Village Council of the Village of Bingham Farms on the 22 day of April, 2024; the original is on file in the Office of the Clerk.

KEN MARTEN
VILLAGE CLERK



To: Village Council
From: William Pattyn
Treasurer
Re: Treasurer's Report
Date: April 24, 2024

The following documents are included in the Treasurer's Report.

Check Disbursement Report for (3/22/24 – 4/19/24). Total General Fund \$190,088.33
Check Disbursement Report for (3/22/24 – 4/19/24). Total Gas & Weight \$1,660.00
Village of Bingham Farms Profit & Loss Budget vs Actual July through March 2024
Current Investments March 2024.

INVOICE NUMBER	DATE PAID	PAID BY CHECK NUMBER	DESCRIPTION	DISTRIBUTIONS\AMOUNTS		AMOUNT
VENDOR NAME: ADP						
656468147	03/22/2024	109	ADP PAYROLL FEE P/E 03/15/2024	101-261-815.000	98.41	98.41
657641687	04/05/2024	121	ADP PAYROLL FEE P/E 03/31/2024	101-261-815.000	98.41	98.41
TOTAL VEN						196.82
VENDOR NAME: ALERUS RETIREMENT SOLUTIONS						
BATCH 29	04/10/2024	122	BATCH 29 - DC PLAN CONTRIBUTION FOR P/E	101-261-712.000	177.08	433.85
				101-253-712.000	256.77	
BATCH 28	04/02/2024	118	BATCH # 28 DC PLAN CONTRIBUTION P/E 03/	101-261-712.000	177.08	433.85
				101-253-712.000	256.77	
TOTAL VEN						867.70
VENDOR NAME: AT&T						
04152024AT&T	04/15/2024	116	OFFICE INTERENT MAR 26 - APR 25	101-261-923.000	107.90	107.90
TOTAL VEN						107.90
VENDOR NAME: BLUE CROSS BLUE SHIELD OF MICHIGAN						
180251410	03/28/2024	112	BCBS INSURANCE 4/1/24 - 4/30/24	101-215-711.000	2,494.87	6,129.58
				101-253-711.000	2,499.63	
				101-261-711.000	1,135.08	
TOTAL VEN						6,129.58
VENDOR NAME: C & G NEWSPAPERS						
0018198-IN	03/22/2024	7881	PUBLIC HEARING NOTICE ZONING ORDINANCE	101-261-900.000	140.00	140.00
TOTAL VEN						140.00
VENDOR NAME: CAR TRUCKING						
13969897	03/22/2024	7879	TRASH - RECYCLE SERVICES MARCH 2024	101-440-804.000	9,433.25	9,433.25
TOTAL VEN						9,433.25
VENDOR NAME: CONSUMERS ENERGY						
203411155573	04/01/2024	108	GAS UTILITY OFFICE 2/7/24 - 3/5/24	101-261-923.000	48.76	48.76
TOTAL VEN						48.76
VENDOR NAME: DTE ENERGY						
200284864962	03/22/2024	111	DTE OFFICE 02/15 - 03/14/24	101-261-923.000	81.83	81.83
TOTAL VEN						81.83
VENDOR NAME: DTE-STREET LIGHTING						
200174887973	03/22/2024	110	DTE STREET LIGHTING 02/01 - 02/29/24	101-440-920.000	107.86	107.86
TOTAL VEN						107.86
VENDOR NAME: FRANKLIN-BINGHAM FIRE DEPARTMENT						
042024FIRE	04/04/2024	7892	FIRE APRIL 2024	101-300-803.000	41,453.75	41,453.75

INVOICE NUMBER	DATE PAID	PAID BY CHECK NUMBER	DESCRIPTION	DISTRIBUTIONS\AMOUNTS		AMOUNT
VENDOR NAME: FRANKLIN-BINGHAM FIRE DEPARTMENT						
TOTAL VEN						41,453.75
VENDOR NAME: GIFFELS WEBSTER						
131309	04/04/2024	7888	PROFESSIONAL SVRS THROUGH 3/16/2024	101-701-814.000	171.00	171.00
TOTAL VEN						171.00
VENDOR NAME: GLASS LAW GROUP, PA						
04012024GLASS	04/10/2024	7894	PROFESSIONAL SERVICES 3/1/24 - 3/31/24	101-266-811.000	807.50	807.50
TOTAL VEN						807.50
VENDOR NAME: GUARDIAN LIFE INS. CO.						
GUARDIAN040124	04/01/2024	113	GUARDIAN INS. 04/01/24 - 04/30/24	101-215-711.000	310.60	874.84
				101-253-711.000	351.39	
				101-261-711.000	212.85	
TOTAL VEN						874.84
VENDOR NAME: HUBBELL, ROTH & CLARK, INC.						
0215424	04/04/2024	7891	MS4 PERMIT ASSISTANCE	101-440-813.000	493.00	493.00
0215427	04/04/2024	7891	30733 BRISTOL LN SITE PLAN REVIEW - ESC	101-000-255.000	110.90	110.90
0215426	04/04/2024	7891	BOOSTER STATION REHABILITATION PLANNING	101-440-813.000	441.84	441.84
0215425	04/04/2024	7891	2022 ROAD IMPROVEMENT PROGRAM STUDY PLA	101-440-813.001	1,163.03	2,326.06
				101-440-813.002	1,163.03	
TOTAL VEN						3,371.80
VENDOR NAME: JAMESTOWNE SOUTH						
040124RENT	04/04/2024	7885	RENT DUE 5/1/24	101-261-940.000	2,774.95	2,774.95
TOTAL VEN						2,774.95
VENDOR NAME: JOSEPH G. FERRARI						
032524	04/04/2024	7887	TRAINING 2023 SETTLEMENT	101-253-960.000	880.00	880.00
TOTAL VEN						880.00
VENDOR NAME: KEN MARTEN						
02032024	04/04/2024	7889	PHONE & MILEAGE EXPENSES FEB & MAR 2024	101-215-850.000	50.00	69.76
				101-261-860.000	19.76	
03012024	04/04/2024	7889	PHONE & MILEAGE FEB 2024	101-215-850.000	50.00	60.72
				101-261-860.000	10.72	
TOTAL VEN						130.48
VENDOR NAME: MERS OF MICHIGAN						
BATCH 67	02/29/2024	101	MERS BATCH 67 - 457B PLAN FOR 2/29/2024	101-000-259.000	100.00	100.00
BATCH 69	04/02/2024	119	BATCH # 69 DB 457B P/E 03/29/24	101-000-259.000	100.00	100.00
00153836-1	04/03/2024	120	MERA DB P/E 3/31/24	101-215-712.000	2,100.00	2,100.00

INVOICE NUMBER	DATE PAID	PAID BY CHECK NUMBER	DESCRIPTION	DISTRIBUTIONS\AMOUNTS	AMOUNT
VENDOR NAME: MERS OF MICHIGAN					
BATCH 70	04/10/2024	123	BATCH 70 - MERS 457B PLAN P/E 4/15/24	101-000-259.000	100.00
TOTAL VEN					<u>2,400.00</u>
VENDOR NAME: MISWITCH COMMUNICATIONS					
731140	04/01/2024	114	TELEPHONE COMM SERVICES FOR APRIL 2024	101-261-923.000	145.86
TOTAL VEN					<u>145.86</u>
VENDOR NAME: OAKLAND COUNTY TREASURER					
03262024	03/26/2024	7882	TREASURE'S SETTLEMENT FOR YEAR 2023 - A	101-000-410.000	3,576.10
TOTAL VEN					<u>3,576.10</u>
VENDOR NAME: PSLZ					
18898	04/04/2024	7884	PROFESSIONAL SVCS AUDIT FY 23 ACT 51 R	101-261-812.000	16,500.00
TOTAL VEN					<u>16,500.00</u>
VENDOR NAME: QUILL CORPORATION					
37592460	04/05/2024	115	QUILL OFFICE SUPPLIES	101-261-727.000	35.38
37819562	04/05/2024	117	QUILL OFFICE SUPPLIES	101-261-727.000	91.76
TOTAL VEN					<u>127.14</u>
VENDOR NAME: SECREST, WARDLE, LYNCH ET AL					
1491424	03/22/2024	7877	PROF. SERVICES THROUGH 2/26/2024	101-266-811.000	3,019.80
TOTAL VEN					<u>3,019.80</u>
VENDOR NAME: VC3 INC.					
141303	03/22/2024	7880	I/T SERVICES MARCH 2024 PRORATED	101-261-807.000	258.06
INV7140VC3	04/04/2024	7886	ROLLOUT TRAINING ON NEW I/T SETUP	101-261-960.000	500.00
TOTAL VEN					<u>758.06</u>
VENDOR NAME: VILLAGE OF BEVERLY HILLS					
04022024PEG	04/02/2024	7883	PEG & FRANCHISE FEE FOR QTR ENDING 12/3	101-000-230.000	7,983.97
TOTAL VEN					<u>7,983.97</u>
VENDOR NAME: VILLAGE OF FRANKLIN					
042024POLICE	04/04/2024	7893	POLICE SAD & SERVICES APRIL 2024	101-300-801.000 101-300-802.000	55,366.21 32,544.34
TOTAL VEN					<u>87,910.55</u>
VENDOR NAME: WILLIAM PATTYN					
03262024	04/04/2024	7890	MILEAGE MAR. OAKLAND CTY SETTLEMENT PA	101-261-860.000	16.08
TOTAL VEN					<u>16.08</u>
VENDOR NAME: YEVGENIY MALKIN					
03192024	03/22/2024	7878	MILEAGE & LARGE FORMAT MAP COPIES 2' X3	101-261-860.000 101-261-900.000	6.03 66.72

User: BPATTYN

POST DATES 03/22/2024 - 04/19/2024

DB: Bingham Farms

JOURNALIZED PAID

BANK CODE: GEN

INVOICE NUMBER	DATE PAID	PAID BY CHECK NUMBER	DESCRIPTION	DISTRIBUTIONS\AMOUNTS	AMOUNT
VENDOR NAME: YEVGENIY MALKIN					
TOTAL VEN					72.75
GRAND TOTAL:					190,088.33

INVOICE NUMBER	DATE PAID	PAID BY CHECK NUMBER	DESCRIPTION	DISTRIBUTIONS\AMOUNTS		AMOUNT
VENDOR CODE: 1138 04012024JOHNSON	JOHNSON LANDSCAPING, INC. 04/04/2024	1727	SNOW PLOWING - CLEANUP & SALTING	202-449-808.000 203-449-808.000	996.00 664.00	1,660.00
TOTAL VEN						1,660.00
GRAND TOTAL:						1,660.00

GL NUMBER	DESCRIPTION	YTD BALANCE 03/31/2024	2023-24 AMENDED BUDGET	AVAILABLE BALANCE	% BDGT USED
Fund 101 - GENERAL FUND					
Revenues					
101-000-034.000	Delinquent Utilities Receivable	0.00	0.00	0.00	0.00
101-000-034.010	Delinquent Water	1,606.42	0.00	(1,606.42)	100.00
101-000-034.020	Delinquent Sewer	1,956.63	0.00	(1,956.63)	100.00
101-000-402.000	Current Real Tax	1,738,151.79	1,748,343.00	10,191.21	99.42
101-000-410.000	Current Personal Tax	71,807.09	74,365.00	2,557.91	96.56
101-000-412.000	Delinq Personal Tax	9,977.85	2,000.00	(7,977.85)	498.89
101-000-445.000	Interest on Taxes	1,076.96	2,500.00	1,423.04	43.08
101-000-451.000	Police SAD	390,532.04	390,532.00	(0.04)	100.00
101-000-452.000	Woodlyne Pump SAD	4,200.00	4,200.00	0.00	100.00
101-000-476.000	Business Licenses	9,725.00	7,500.00	(2,225.00)	129.67
101-000-477.000	Cable Franchise Fee	34,214.53	35,000.00	785.47	97.76
101-000-490.000	Permit Revenue	8,503.70	7,000.00	(1,503.70)	121.48
101-000-502.000	Federal Grant Revenue	0.00	0.00	0.00	0.00
101-000-528.000	Other Federal Grant	0.00	215,350.00	215,350.00	0.00
101-000-543.000	Liquor Control	770.00	770.00	0.00	100.00
101-000-573.000	Local Comm Stabilization	43,831.44	32,400.00	(11,431.44)	135.28
101-000-574.000	State Revenue Sharing	83,796.00	123,055.00	39,259.00	68.10
101-000-656.000	Court Fees & Fines	18,717.72	35,000.00	16,282.28	53.48
101-000-657.000	Ordinance/Alarm Fee	2,412.50	6,000.00	3,587.50	40.21
101-000-665.000	Interest/Dividends	57,824.57	15,000.00	(42,824.57)	385.50
101-000-674.000	Festival Contributions	0.00	0.00	0.00	0.00
101-000-675.000	Code Enforcement Fines/Fees	0.00	0.00	0.00	0.00
101-000-677.000	Miscellaneous	17,381.76	5,000.00	(12,381.76)	347.64
101-000-693.000	Sale Capital Assets	0.00	0.00	0.00	0.00
TOTAL REVENUES		2,496,486.00	2,704,015.00	207,529.00	92.33
Expenditures					
101-215-702.000	Salaries & Wages	77,402.60	102,069.00	24,666.40	75.83
101-215-711.000	Insurance Benefits	54,289.83	31,635.00	(22,654.83)	171.61
101-215-712.000	Retirement Contribution	18,652.00	23,400.00	4,748.00	79.71
101-215-850.000	Cell Phone	400.00	600.00	200.00	66.67
101-215-860.000	Mileage & Travel	0.00	0.00	0.00	0.00
101-215-960.000	Membership & Training	725.00	1,000.00	275.00	72.50
101-253-702.000	Salaries & Wages	54,374.94	72,500.00	18,125.06	75.00
101-253-711.000	Insurance Benefits	23,792.86	29,971.00	6,178.14	79.39
101-253-712.000	Retirement Contribution	5,826.02	6,163.00	336.98	94.53
101-253-860.000	Mileage & Travel	0.00	0.00	0.00	0.00
101-253-960.000	Membership & Training	119.00	1,000.00	881.00	11.90
101-261-702.000	Salaries & Wages	38,854.29	50,000.00	11,145.71	77.71
101-261-710.000	Employer Payroll Tax	13,260.07	17,328.00	4,067.93	76.52
101-261-711.000	Insurance Benefits	11,715.91	15,233.00	3,517.09	76.91
101-261-712.000	Retirement Contribution	3,718.68	4,250.00	531.32	87.50
101-261-713.000	Unemployment	0.00	0.00	0.00	0.00
101-261-727.000	Office Supplies	3,561.73	4,000.00	438.27	89.04
101-261-806.000	Liability Insurance	15,279.00	15,500.00	221.00	98.57
101-261-807.000	Information Technology	4,370.09	6,000.00	1,629.91	72.83
101-261-812.000	Audit	0.00	14,000.00	14,000.00	0.00
101-261-815.000	Payroll Services	2,177.59	2,700.00	522.41	80.65
101-261-860.000	Mileage & Travel	612.06	700.00	87.94	87.44
101-261-900.000	Publish & Printing	3,077.70	5,000.00	1,922.30	61.55
101-261-923.000	Office Utilities	3,713.20	5,600.00	1,886.80	66.31
101-261-940.000	Rent	24,856.47	37,000.00	12,143.53	67.18
101-261-960.000	Membership & Training	2,037.00	6,000.00	3,963.00	33.95
101-261-961.000	Miscellaneous	1,155.79	1,000.00	(155.79)	115.58
101-261-964.000	Tax Refund Allowance	0.00	2,000.00	2,000.00	0.00
101-261-969.000	Contingency	0.00	5,964.00	5,964.00	0.00
101-266-811.000	Attorney	21,959.25	45,500.00	23,540.75	48.26
101-300-702.000	Salaries & Wages	2,700.00	2,800.00	100.00	96.43
101-300-801.000	Police Services	489,476.89	664,395.00	174,918.11	73.67
101-300-802.000	Police SAD	292,899.06	390,532.00	97,632.94	75.00
101-300-803.000	Fire Services	373,083.75	497,445.00	124,361.25	75.00
101-300-860.000	Mileage & Travel	0.00	550.00	550.00	0.00
101-300-971.000	Police Vehicle	0.00	0.00	0.00	0.00
101-440-804.000	Trash Collection	79,378.85	108,158.00	28,779.15	73.39
101-440-805.000	Woodlyne Pump	4,200.00	4,200.00	0.00	100.00
101-440-808.000	EVERGREEN DRAIN DEBT	0.00	0.00	0.00	0.00
101-440-813.000	Engineering	5,608.88	17,000.00	11,391.12	32.99
101-440-813.001	Engineering Grants	15,931.53	115,350.00	99,418.47	13.81
101-440-813.002	Oakland Cty Grant	7,488.38	100,000.00	92,511.62	7.49
101-440-832.000	State of Michigan	1,000.00	1,000.00	0.00	100.00
101-440-920.000	Street Lighting	1,392.11	1,400.00	7.89	99.44
101-440-920.001	DTE UTILITIES	0.00	0.00	0.00	0.00
101-440-955.000	Code Enforcement	0.00	0.00	0.00	0.00
101-600-820.000	Senior Assistance	0.00	4,900.00	4,900.00	0.00
101-600-821.000	Youth Assistance	0.00	1,200.00	1,200.00	0.00

GL NUMBER	DESCRIPTION	YTD BALANCE 03/31/2024	2023-24 AMENDED BUDGET	AVAILABLE BALANCE	% BDGT USED
Fund 101 - GENERAL FUND					
Expenditures					
101-600-822.000	Substance Abuse Assistance	0.00	1,000.00	1,000.00	0.00
101-701-814.000	Planning	4,666.50	8,900.00	4,233.50	52.43
101-751-880.000	Festival	0.00	0.00	0.00	0.00
101-790-810.000	Library	96,804.00	129,072.00	32,268.00	75.00
101-965-995.000	Interfund Transfers	0.00	0.00	0.00	0.00
101-965-995.202	To Major Roads	0.00	0.00	0.00	0.00
101-965-995.203	To Local Roads	0.00	0.00	0.00	0.00
TOTAL EXPENDITURES		<u>1,760,561.03</u>	<u>2,554,015.00</u>	<u>793,453.97</u>	<u>68.93</u>
Fund 101 - GENERAL FUND:					
TOTAL REVENUES		2,496,486.00	2,704,015.00	207,529.00	92.33
TOTAL EXPENDITURES		<u>1,760,561.03</u>	<u>2,554,015.00</u>	<u>793,453.97</u>	<u>68.93</u>
NET OF REVENUES & EXPENDITURES		735,924.97	150,000.00	(585,924.97)	490.62

GL NUMBER	DESCRIPTION	YTD BALANCE 03/31/2024	2023-24 AMENDED BUDGET	AVAILABLE BALANCE	% BDGT USED
Fund 202 - MAJOR ROADS					
Revenues					
202-000-546.000	State Act 51	68,244.52	88,115.00	19,870.48	77.45
202-000-665.000	Interest/Dividends	4,994.23	5,600.00	605.77	89.18
202-000-677.000	Miscellaneous	0.00	0.00	0.00	0.00
202-000-699.000	From General Fund	0.00	0.00	0.00	0.00
TOTAL REVENUES		73,238.75	93,715.00	20,476.25	78.15
Expenditures					
202-449-808.000	Winter Maintenance	8,844.00	16,000.00	7,156.00	55.28
202-449-809.000	Street Preservation	13,256.62	40,350.00	27,093.38	32.85
202-449-961.000	Miscellaneous	0.00	0.00	0.00	0.00
202-449-965.000	Non-Motorized Projects	0.00	0.00	0.00	0.00
202-449-967.000	Street Construction	0.00	0.00	0.00	0.00
202-449-967.010	Street Construction	0.00	0.00	0.00	0.00
202-449-995.203	To Local Roads	0.00	0.00	0.00	0.00
TOTAL EXPENDITURES		22,100.62	56,350.00	34,249.38	39.22
Fund 202 - MAJOR ROADS:					
TOTAL REVENUES		73,238.75	93,715.00	20,476.25	78.15
TOTAL EXPENDITURES		22,100.62	56,350.00	34,249.38	39.22
NET OF REVENUES & EXPENDITURES		51,138.13	37,365.00	(13,773.13)	136.86

GL NUMBER	DESCRIPTION	YTD BALANCE 03/31/2024	2023-24 AMENDED BUDGET	AVAILABLE BALANCE	% BDGT USED
Fund 203 - LOCAL ROADS					
Revenues					
203-000-546.000	State Act 51	34,535.69	45,393.00	10,857.31	76.08
203-000-665.000	Interest/Dividends	3,329.46	3,600.00	270.54	92.49
203-000-677.000	Miscellaneous	0.00	0.00	0.00	0.00
203-000-699.101	From General Fund	0.00	0.00	0.00	0.00
203-000-699.202	From Major Road Fund	0.00	0.00	0.00	0.00
TOTAL REVENUES		37,865.15	48,993.00	11,127.85	77.29
Expenditures					
203-449-808.000	Winter Maintenance	5,896.00	10,600.00	4,704.00	55.62
203-449-809.000	Street Preservation	10,518.50	26,865.00	16,346.50	39.15
203-449-961.000	Miscellaneous	0.00	0.00	0.00	0.00
203-449-965.000	Non-Motorized Projects	0.00	0.00	0.00	0.00
203-449-967.000	Street Construction	0.00	0.00	0.00	0.00
203-449-967.010	Street Construction	0.00	0.00	0.00	0.00
TOTAL EXPENDITURES		16,414.50	37,465.00	21,050.50	43.81
Fund 203 - LOCAL ROADS:					
TOTAL REVENUES		37,865.15	48,993.00	11,127.85	77.29
TOTAL EXPENDITURES		16,414.50	37,465.00	21,050.50	43.81
NET OF REVENUES & EXPENDITURES		21,450.65	11,528.00	(9,922.65)	186.07
TOTAL REVENUES - ALL FUNDS					
		2,607,589.90	2,846,723.00	239,133.10	91.60
TOTAL EXPENDITURES - ALL FUNDS					
		1,799,076.15	2,647,830.00	848,753.85	67.95
NET OF REVENUES & EXPENDITURES		808,513.75	198,893.00	(609,620.75)	406.51



Investments

March 2024

General Fund

Type	Institution	Maturity	Rate	Amount
LGIP	Oakland County Pool	NA		\$410,344
MCLS	Michigan CLASS Pool	NA	5.41%	\$599,958
CD	CIBC	7/29/2024	5.25%	\$250,000
CD	Chase Bank	9/25/2024	5.17%	\$250,000
MM	Flagstar Bank	NA	4.12%	\$250,683
MM	MBS	NA	4.37%	\$249,909
CD	Dart Bank Mason MI – MBS	6/12/2024	5.35%	\$200,000
CD	JP Morgan Chase BK- MBS	6/28/2024	5.45%	\$150,000
CD	Traverse Cath. FCU - MBS	9/16/2024	5.50%	\$248,000
CD	JP Morgan Chase BK- MBS	9/17/2024	5.55%	\$100,000
CD	Bank Amer NA – MBS	11/7/2024	5.45%	\$185,000
CD	Fifth Third Bank	1/15/2025	4.70%	\$100,000
CD	MI Bank Bloomfield Twp.	1/31/2025	4.85%	\$248,000
USB	Fed Home Bks Fixed MGT – MBS	3/3/2025	4.92%	\$195,000
UST	MBS	Ladder	0.125% - 2.54%	\$350,000
Total				\$3,786,894

Road Funds

Type	Institution	Maturity	Rate	Amount
LGIP	Oakland County Pool	NA		\$616,251
MM	MBS	NA	4.37%	\$27,567
CD	PNC BK -MBS	9/9/2024	5.25%	\$236,000
CD	Superior National Bank	7/16/2024	5.25%	\$250,000
Total				\$1,129,818